

Planning Committee

3 April 2023



22/01648/FM





HEACHAM BOTTOM FARM

SITE PLAN_AS EXISTING 1:750 @ A3

DRAWING PACKAGE
REVISION B

WILD KEN HILL

FEBRUARY 2023

PREPARED BY
RURAL SOLUTIONS LTD

Site Plan Key

- 1 Office
- 2 Retail Unit
- 3 Agricultural Shed
- 4 Existing Access
- 5 Farmhouse
- 6 Agricultural Fields



DEMOLITION PLAN_AS PROPOSED 1:750 @ A3

Site Plan Key

Area to be demolished
1208 m²



Area to be demolished 222 m²



Area to be demolished 926 m²



Area to be demolished 60 m²



HEACHAM BOTTOM FARM
DRAWING PACKAGE
REVISION B
WILD KEN HILL
FEBRUARY 2021
PREPARED BY
RURAL SOLUTIONS LTD

SITE PLAN_AS PROPOSED 1:750 @ A3

Site Plan Key

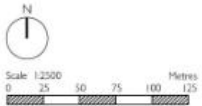
- 1 Muster Point (For Nature Tours)
- 2 Retail / W/Cs (New Build)
- 3 Offices / Events Space
- 4 Bike Shop & Rental
- 5 Retail Unit
- 6 Covered Bike Parking
- 7 Main Visitor Building (New Build)
- 8 Outdoor F&B Seating
- 9 Pay Point
- 10 Indoor Play
- 11 Outdoor play
- 12 Wild Garden
- 13 Orchard Pasture
- 14 Woven Willow Art
- 15 Walking Trails
- 16 Tumuli
- 17 Parking
- 18 Delivery Entrance
- 19 Refuse Storage



SITE MASTERPLAN 1 OF 2_AS PROPOSED 1:2500 @ A3

Site Plan Key

- 1 Muster Point (For Nature Tours)
- 2 Retail / W.Cs (New Build)
- 3 Office / Retail
- 4 Covered Bike Parking
- 5 Main Visitor Building (New Build)
- 6 Outdoor F&B Seating
- 7 Pay Point
- 8 Indoor Play
- 9 Outdoor play
- 10 Wild Garden
- 11 Orchard Pasture
- 12 Woven Willow Art
- 13 Walking Trails
- 14 Tumuli
- 15 Dog Walking Area
- 16 Pump Trail
- 17 Woodland Pump Track
- 18 Woodland Trail
- 19 Glamping
- 20 Parking
- 21 Overspill Car Park



HEACHAM BOTTOM FARM
 DRAWING PACKAGE
 REVISION B
 WILD KEN HILL
 FEBRUARY 2021
 PREPARED BY
 RURAL SOLUTIONS LTD

SITE MASTERPLAN 2 OF 2_AS PROPOSED 1:2500 @ A3

Site Plan Key

- 1 Woodland Pump Track
- 2 Woodland Trail
- 3 Glamping



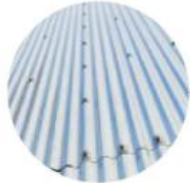
DRAWING PACKAGE
REVISION B

WILD KEN HILL

FEBRUARY 2022

PREPARED BY
RURAL SOLUTIONS LTD

Note: Air Source Heat Pump specific size
and location to be confirmed



Profiled metal
roof



Vertical standing
seam cladding



Vertical profile
cladding



South Elevation



East Elevation



North Elevation



West Elevation

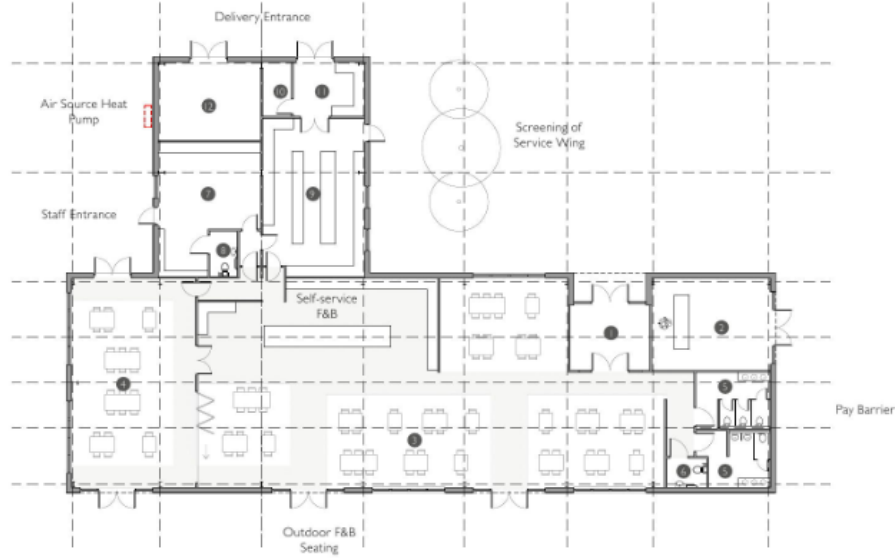


VISITOR BUILDING FLOOR PLAN_AS PROPOSED 1:200 @ A3

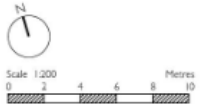
- Floor Plan Key
- 1 Main Entrance
 - 2 Reception
 - 3 F&B Seating
 - 4 Flexible Space
 - 5 WC
 - 6 Accessible WC
 - 7 Staff Room / Kitchen
 - 8 Staff WC
 - 9 Kitchen
 - 10 Cold Store
 - 11 Store Room
 - 12 Plant Room

Note: Air Source Heat Pump specific size and location to be confirmed

HEACHAM BOTTOM FARM
 DRAWING PACKAGE
 REVISION B
 WILD REN HILL
 FEBRUARY 2023
 PREPARED BY
 RURAL SOLUTIONS LTD



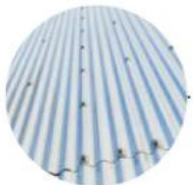
Floor Plan



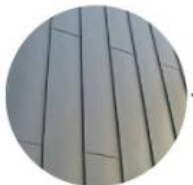
Proposed G.L.F.A. 573 m²

RETAIL / W.Cs NEW BUILD ELEVATIONS_AS PROPOSED 1:200 @ A3

Note: Air Source Heat Pump specific size and location to be confirmed



Profiled metal roof



Vertical standing seam cladding



Vertical profile cladding



South East Elevation



North West Elevation



South West Elevation

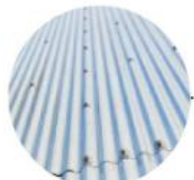


North East Elevation



HEACHAM BOTTOM FARM
DRAWING PACKAGE
REVISION B
WILD REN HILL
FEBRUARY 2022
PREPARED BY
RURAL SOLUTIONS LTD

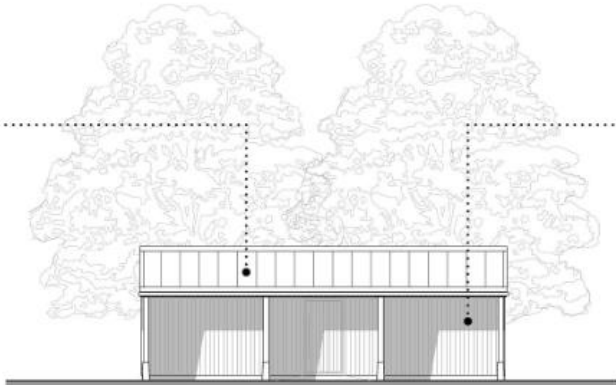
MUSTER POINT ELEVATIONS_AS PROPOSED 1:100 @ A3



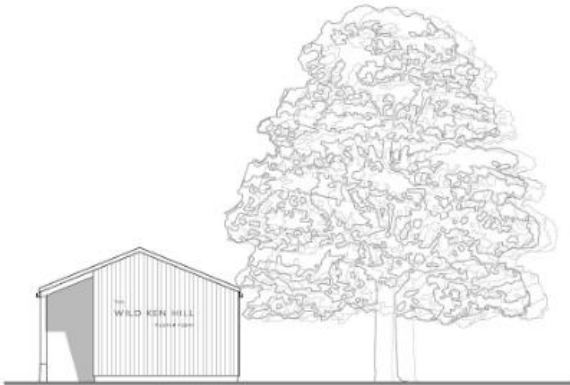
Profiled metal roof



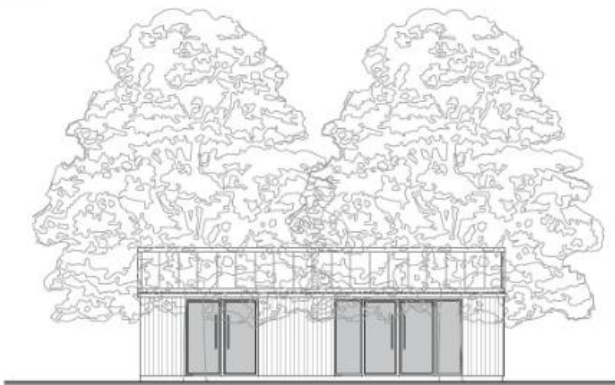
Vertical timber cladding



East Elevation



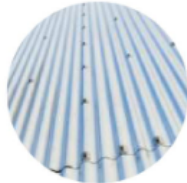
North / South Elevation



West Elevation



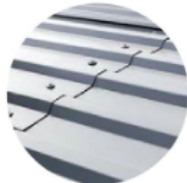
Note: Air Source Heat Pump specific size and location to be confirmed



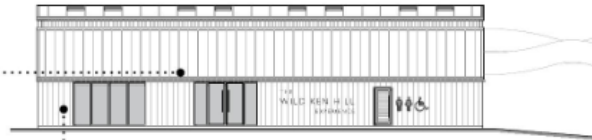
Profiled metal roof



Vertical standing seam cladding



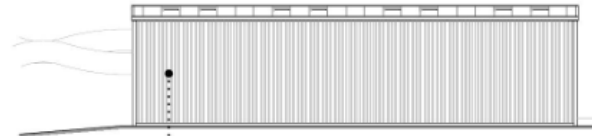
Vertical profile cladding



North West Elevation



North East Elevation



South East Elevation



South West Elevation



HEACHAM BOTTOM FARM

DRAWING PACKAGE
REVISION B

WILD KEN HILL

FEBRUARY 2023

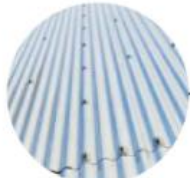
PREPARED BY
RURAL SOLUTIONS LTD

DRAWING PACKAGE
REVISION B

WILD KEN HILL

FEBRUARY 2023

PREPARED BY
RURAL SOLUTIONS LTD



Profiled metal
roof



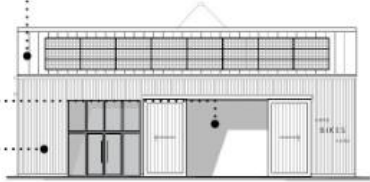
Sliding 'Barn'
Doors



Vertical profile
cladding



North Elevation



West Elevation



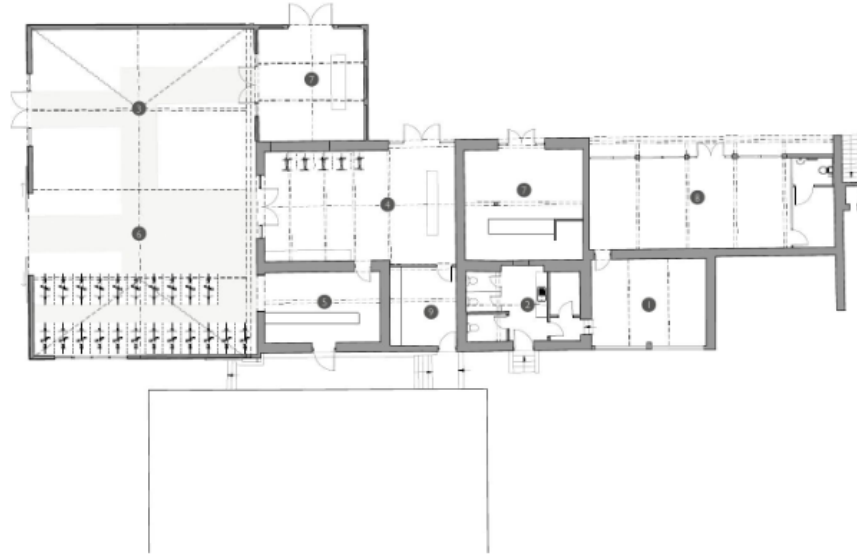
South Elevation



EXISTING FARM BUILDINGS FLOOR PLAN_AS PROPOSED 1:200 @ A3

Floor Plan Key

- 1 Office
- 2 Office Facilities
- 3 Covered Arrival Space
- 4 Bike Workshop / Retail
- 5 Bike Rental Office
- 6 Covered Bike Storage
- 7 Retail Unit
- 8 Corporate Event Space
- 9 Storage / Staff Room



Floor Plan



Scale 1:200
0 2 4 6 8 10
Metres

GLAMPING SITE PLAN_AS PROPOSED 1:750 @ A3

- Site Plan Key
- 1 Service Track
 - 2 Yurt
 - 3 Private Shower
 - 4 Treehouse Yurt
 - 5 Private W.C
 - 6 Facilities Block
 - 7 Kitchen Facility

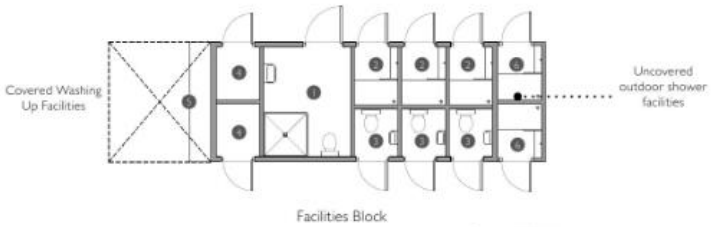


HEACHAM BOTTOM FARM
 DRAWING PACKAGE
 REVISION B
 WILD REN HILL
 FEBRUARY 2021
 PREPARED BY:
 RURAL SOLUTIONS LTD

GLAMPING FACILITIES PLANS & ELEVATIONS_AS PROPOSED 1:100 @ A3

Facilities Block Floor Plan Key

- 1 Family Shower
- 2 Shower
- 3 WC
- 4 Store
- 5 Washing Up Station
- 6 Outdoor Shower



Facilities Block



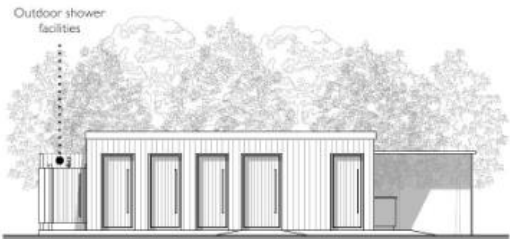
Profiled metal roof



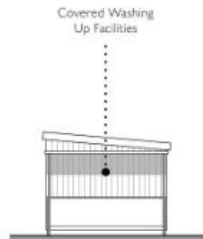
Vertical timber cladding



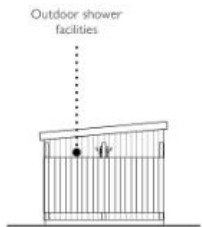
Vertical profile cladding



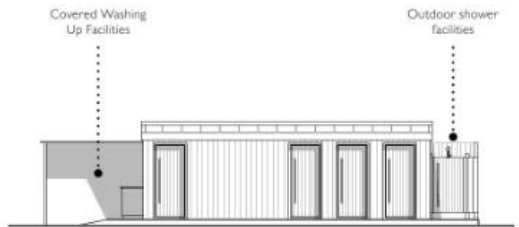
Front Elevation



Side Elevation



Side Elevation



Rear Elevation



DRAWING PACKAGE
REVISION 8

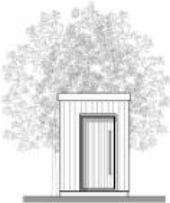
WILD KER HILL

FEBRUARY 2023

PREPARED BY
RURAL SOLUTIONS LTD



Private Shower



Front Elevation



Rear Elevation



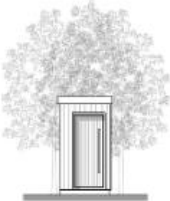
Side Elevation



Profiled metal
roof



Private W.C.



Front Elevation



Rear Elevation



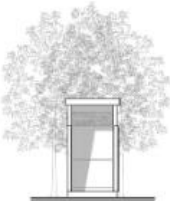
Side Elevation



Vertical timber
cladding



Private Kitchen
Facility



Front Elevation



Rear Elevation



Side Elevation



Vertical profile
cladding



22/01648/FM

Slide
No 19



View looking back to A149 along existing farm access

22/01648/FM

Slide
No 20



22/01648/FM

Slide
No 21



View over proposed car park and up to the new access point



22/01648/FM

Slide
No 22



22/01648/FM

Slide
No 23



Farm buildings and existing mast

22/01648/FM

Slide
No 24



Further view looking back to the mast from inside the farmyard



22/01648/FM

Slide
No 25



View of the farm buildings to be removed



22/01648/FM

Slide
No 26



Existing farmhouse close to the main complex

22/01648/FM

Slide
No 27



View south from the main complex with proposed play barn to the right



22/01648/FM

Slide
No 28



Vista of field where glamping pods will go. Located adjacent the woodland



22/01648/FM

Slide
No 29



Existing farm cottage. Glamping site off the slide to the left.



22/01648/FM

Slide
No 30



View of where a couple of the glamping pods will be located to the left of the existing temporary structure



22/01648/FM

Slide
No 31



Looking back to the main complex from the glamping pods



22/01648/FM

Slide
No 32



Private farm track leading to the A149 – to be closed
where it meets the A149



22/01648/FM

Slide
No 33



Photo showing part of new off-road path running along the hedgerow



22/01648/FM

Slide
No 34



Start of cycling skills trails, to the south-east of the
main complex



Speaker James Ellis



22/01648/FM



Wild Ken Hill Applications Closure of Accesses From Heacham Bottom Farm onto A149

Existing Lamsey Lane Access Retained

1. Existing access onto A149 closed
(for everything other than 4 existing cottages).

2. Existing access onto A149 permanently closed.

3. Existing access onto A149 permanently closed.

..... New proposed off road path linking Heacham and Snettisham

Slide No 36



Wild Ken Hill Applications

Reserved Land for Junction Improvements at A149 / Lamsey Lane Junction

Slide No 37

22/01648/FM




Acknowledging the future ambition for improvements at the A149 / Lamsey Lane junction, Wild Ken Hill offers the reservation of land it owns for future junction improvements, as part of the planning application for Heacham Bottom Farm.

The following restrictions are proposed for a Legal Agreement / Planning Conditions:

i) The owners shall make the land to the north, south, east and west of the A149/Lamsey Lane junction (as shown on the accompanying plan) available to Norfolk County Council Highways (NCC) for a period of 15 years from Commencement of Development.

ii) The owners shall not seek any alternative use of the land (as shown on the accompanying plan) other than the existing agricultural use or use shown on the approved Landscape Masterplan, for a period to 15 years from the Commencement of Development."

 Reserved Land for Junction Improvements (additional land available if required).

NB. Map shows land in ownership in beige

22/01650/FM



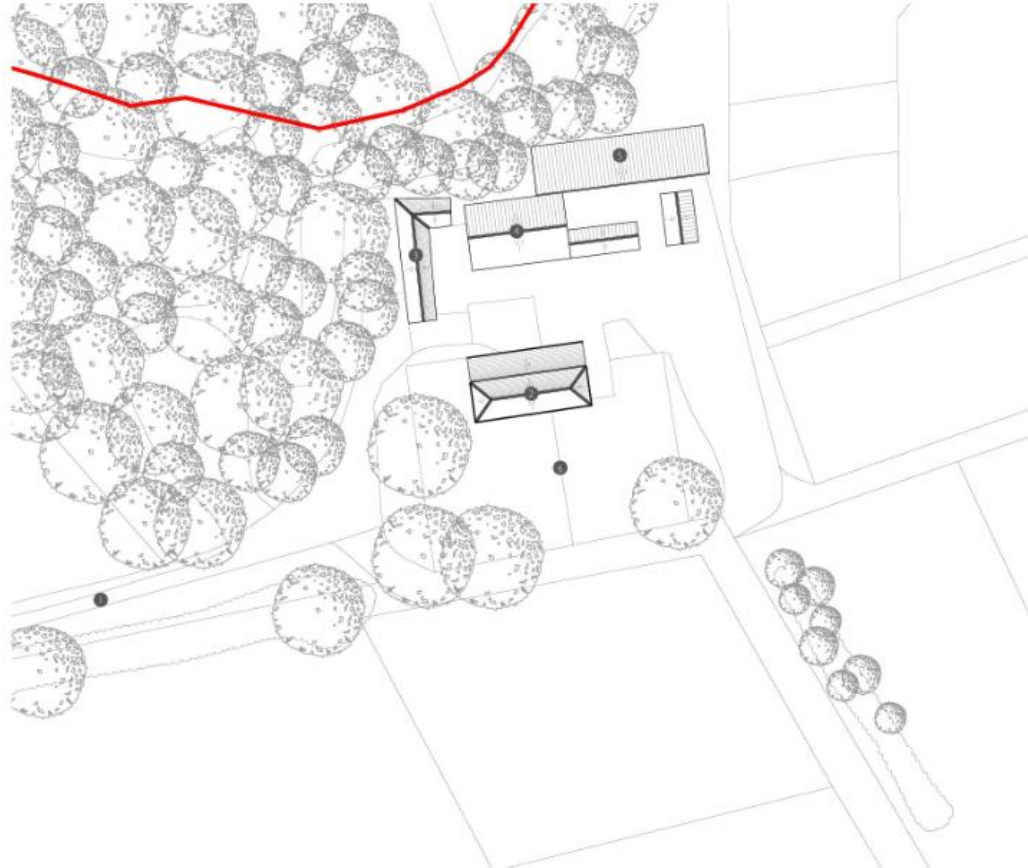




SITE PLAN_AS EXISTING 1:500 @ A3

Site Plan Key

- 1 Access Track
- 2 Farmhouse
- 3 Office & Stables
- 4 Stables
- 5 Storage
- 6 Garden



Material Palette

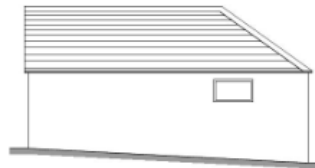
- Walls - Local red brick
- Doors & Windows - Painted timber
- Roof - Red pantile
- Rainwater goods - Black metal

MOUNT PLEASANT

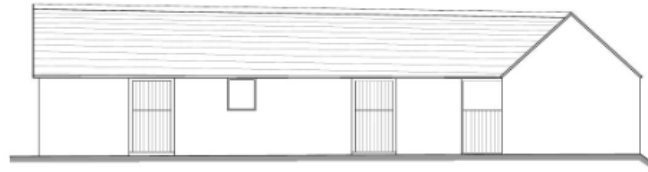
DRAWING PACKAGE
REVISION B

WILD KEN HILL

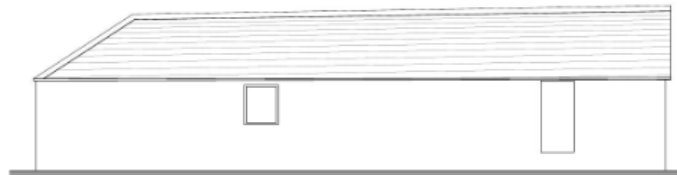
FEBRUARY 2022

PREPARED BY
RURAL SOLUTIONS LTD

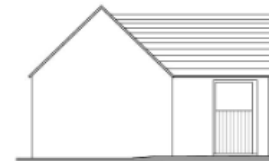
North Elevation



East Elevation



West Elevation



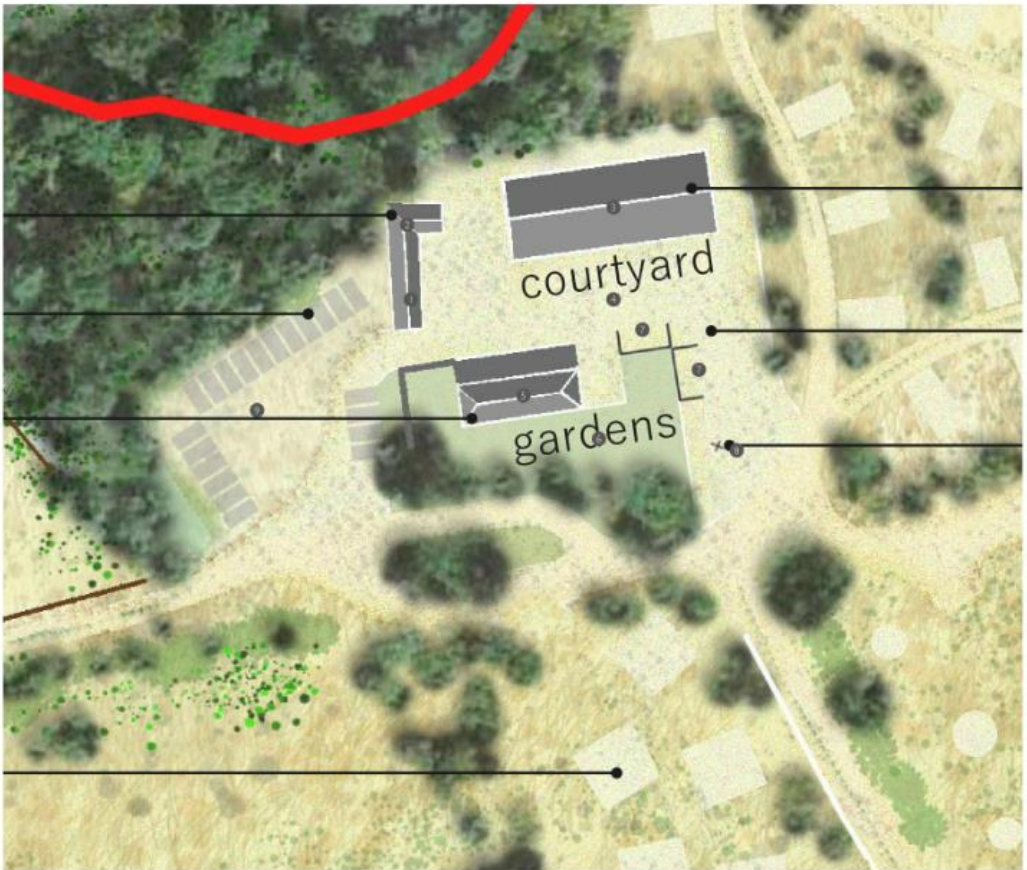
South Elevation

Scale 1:100
0 1 2 3 4 5
Metres

SITE PLAN_AS PROPOSED 1:500 @ A3

Site Plan Key

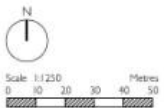
- 1 Reception / Retail
- 2 Storage
- 3 Proposed Utility Building
- 4 Courtyard
- 5 Staff Accommodation
- 6 Gardens
- 7 Refuse Storage
- 8 Black Waste Disposal
- 9 Temporary Parking / Drop-Off



WIDER SITE PLAN_AS PROPOSED 1:1250 @ A3

- Site Plan Key
- 1 Reception / Retail
 - 2 Storage
 - 3 Proposed Utility Building
 - 4 Courtyard
 - 5 Staff Accommodation
 - 6 Gardens
 - 7 Refuse Storage
 - 8 Black Waste Disposal
 - 9 Temporary Parking / Drop-Off
 - 10 Zone 3 - Serviced Handstanding Pitches
 - 11 Zone 4 - Bell Tent Pitches
 - 12 Zone 4 - Mixed Grass Pitches
 - 13 Recreation & Play Area

-  Zone 3 - Serviced Handstanding Pitches - 20 Pitches
-  Zone 4 - Bell Tents - 7 Pitches
-  Zone 4 - Mixed Grass Pitches - 40 Pitches



MOUNT PLEASANT

DRAWING PACKAGE
REVISION B

WILD KEN HILL

FEBRUARY 2022

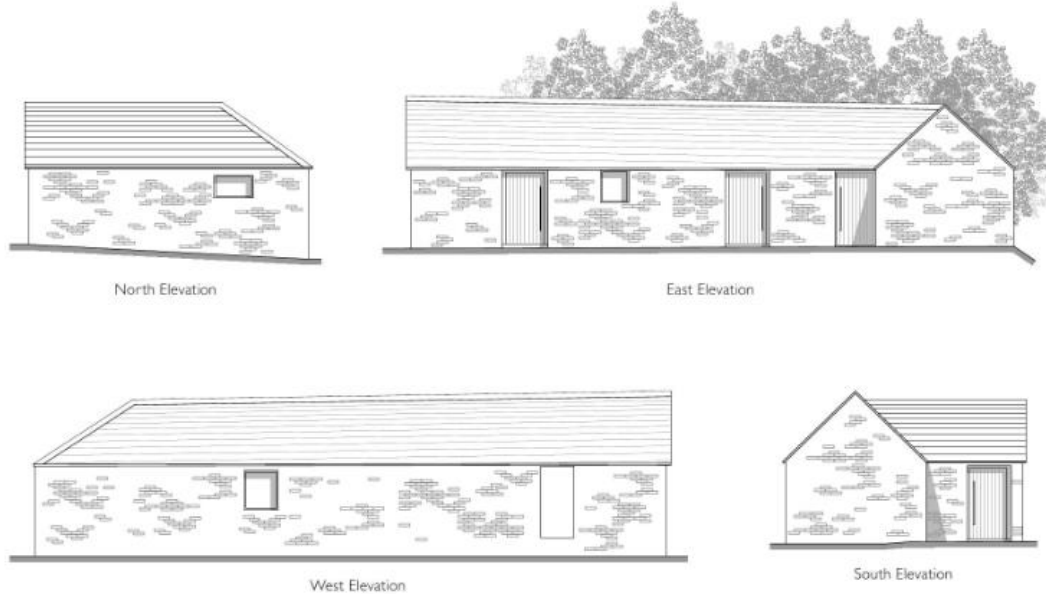
PREPARED BY:
RURAL SOLUTIONS LTD

RECEPTION BUILDING ELEVATIONS_AS PROPOSED 1:100 @ A3

Material Palette

- Walls - Local red brick
- Doors & Windows - Painted timber
- Roof - Red pantile
- Rainwater goods - Black metal

MOUNT PLEASANT
DRAWING PACKAGE
REVISION B
WILD KEN HILL
FEBRUARY 2023
PREPARED BY
RURAL SOLUTIONS LTD

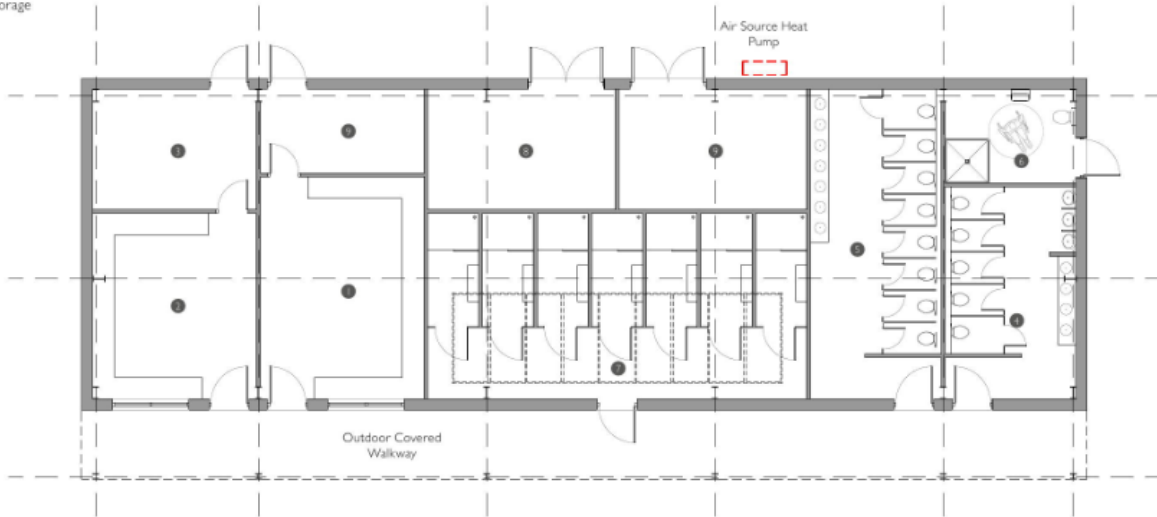


UTILITY BUILDING FLOOR PLAN_AS PROPOSED 1:100 @ A3

Floor Plan Key

- 1 Kitchen / Wash-up
- 2 Utility
- 3 Drying Room
- 4 Male W.C
- 5 Female W.C
- 6 Accessible W.C / Shower
- 7 Showers
- 8 Plant Room
- 9 Storage

Note: Air Source Heat Pump specific size and location to be confirmed

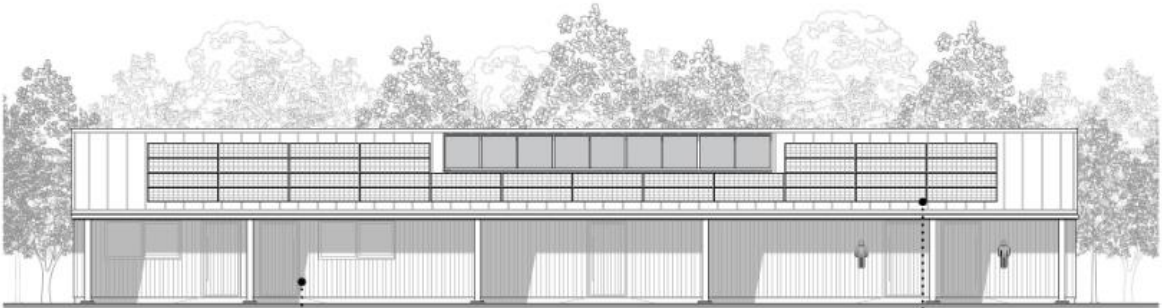


Floor Plan



Proposed G.I.F.A. 230 m²

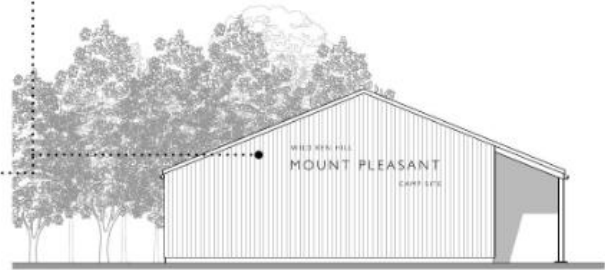
MOUNT PLEASANT
DRAWING PACKAGE
REVISION B
WILD SEN HILL
FEBRUARY 2023
PREPARED BY
RURAL SOLUTIONS LTD



South Elevation



Vertical profile cladding



West Elevation



Profiled metal roof



DRAWING PACKAGE
REVISION 3

WILD KEN HILL

FEBRUARY 2023

PREPARED BY
RURAL SOLUTIONS LTD

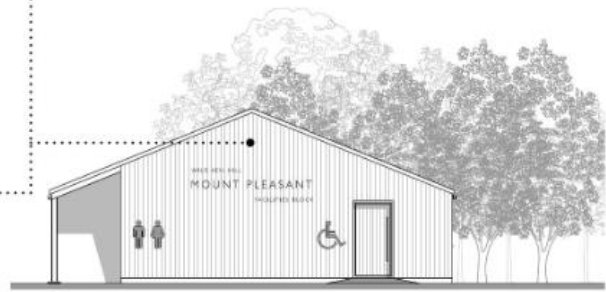
Note: Air Source Heat Pump specific size
and location to be confirmed



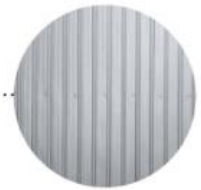
North Elevation



Vertical profile
cladding



East Elevation



Profiled metal
roof



WILD KEN HILL

WILD KEN HILL
BIODIVERSITY ENHANCEMENT PLAN



22/01650/FM

Slide
No 50

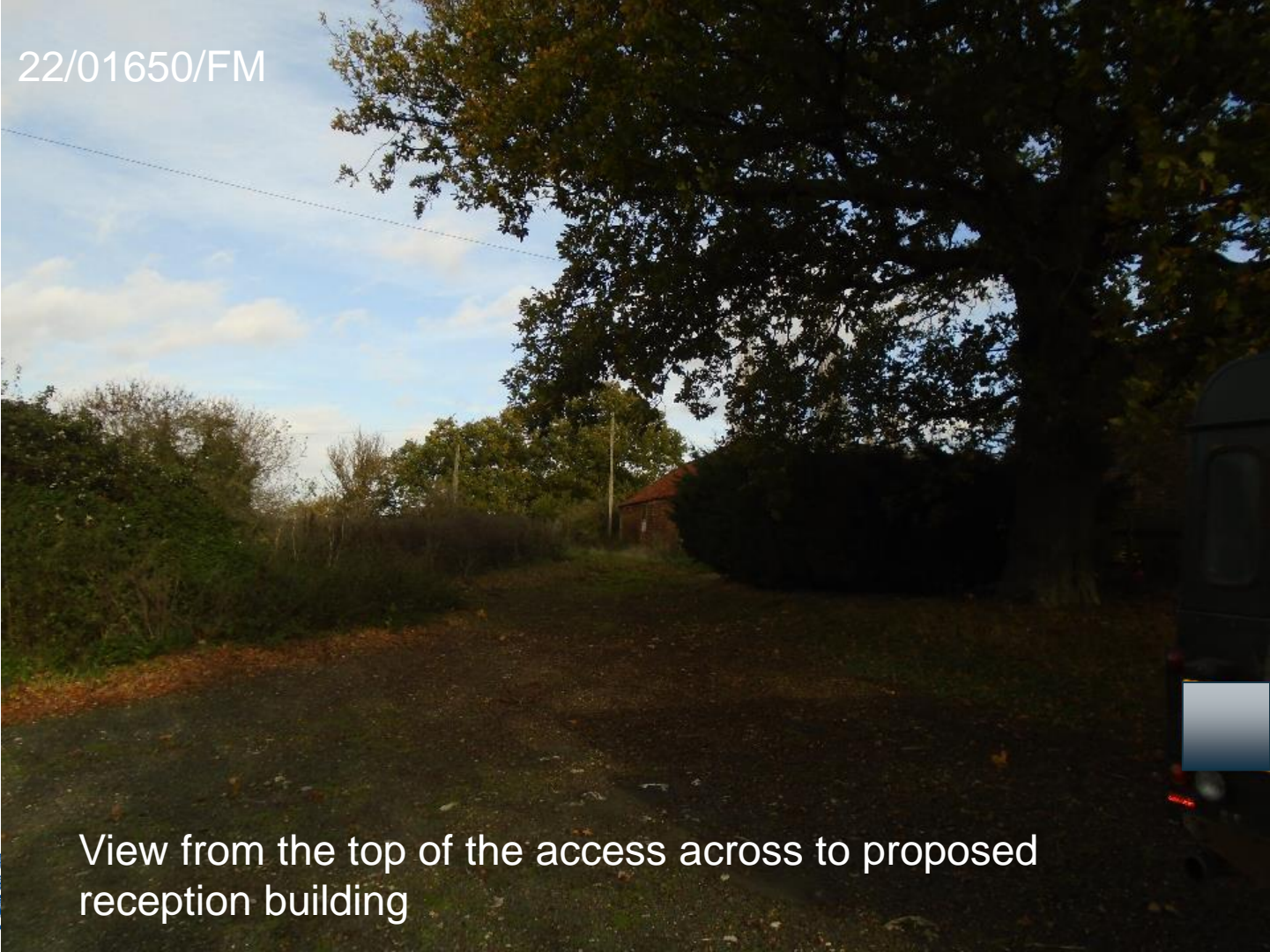


View down towards the access



22/01650/FM

Slide
No 51



View from the top of the access across to proposed
reception building



22/01650/FM

Slide
No 52



View of site of bell tents



22/01650/FM

Slide
No 53



View west down to Lamsey Lane, with new link between
Snettisham and Heacham along the hedgerow



22/01650/FM

Slide
No 54



Site of touring caravan pitches

22/01650/FM

Slide
No 55



Existing equestrian buildings to be removed

22/01650/FM

Slide
No 56



Farmhouse to be used as staff accommodation



22/01650/FM

Slide
No 57



Farmhouse and equestrian buildings seen together

22/01650/FM

Slide
No 58



Grass pitches to the right of the photo

22/01650/FM

Slide
No 59



Site of grass pitches on the left



22/01650/FM

Slide
No 60



Touring pitches – with hardstandings



22/01650/FM

Slide
No 61



View towards the farm/equestrian complex from the touring
caravan site



22/01650/FM

Slide
No 62



View of extended caravan site to the north



Speaker James Ellis



22/01650/FM



Wild Ken Hill Applications Closure of Accesses From Heacham Bottom Farm onto A149

Existing Lamsey Lane Access Retained

1. Existing access onto A149 closed
(for everything other than 4 existing cottages).

2. Existing access onto A149 permanently closed.

3. Existing access onto A149 permanently closed.

..... New proposed off road path linking Heacham and Snettisham

Slide No 64



Wild Ken Hill Applications

Reserved Land for Junction Improvements at A149 / Lamsey Lane Junction

Slide No 65

22/01650/FM




Acknowledging the future ambition for improvements at the A149 / Lamsey Lane junction, Wild Ken Hill offers the reservation of land it owns for future junction improvements, as part of the planning application for Heacham Bottom Farm.

The following restrictions are proposed for a Legal Agreement / Planning Conditions:

i) The owners shall make the land to the north, south, east and west of the A149/Lamsey Lane junction (as shown on the accompanying plan) available to Norfolk County Council Highways (NCC) for a period of 15 years from Commencement of Development.

ii) The owners shall not seek any alternative use of the land (as shown on the accompanying plan) other than the existing agricultural use or use shown on the approved Landscape Masterplan, for a period to 15 years from the Commencement of Development."

 Reserved Land for Junction Improvements (additional land available if required).

NB. Map shows land in ownership in beige

21/01607/O





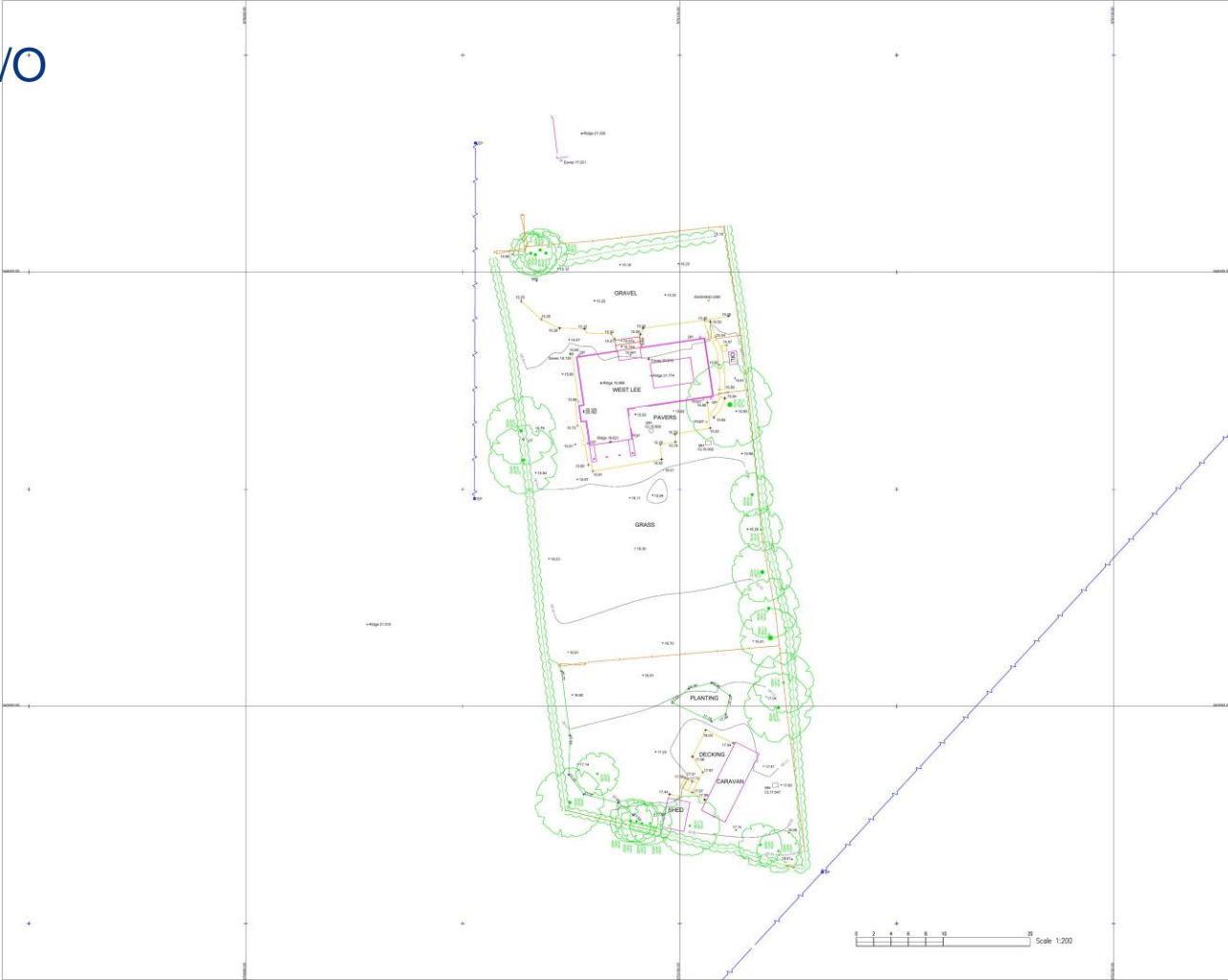
Informations:
 This drawing has been produced for indicative purposes only. A site survey has not been undertaken and measurements should be treated as approximate.
 This drawing should not be reproduced or copied without the consent of Land Promotions and Development Ltd.

Site Address: Caravan site at
 West Lee, Swan Lane
 Plan Ref: H00179-1
 Date: June 2021
 Description: Location Plan
 Scale: 1:1250 (A3)



Registered in England & Wales under company registration no. 08002020
 Registered Address: 54-56, The Oldfield, Kings Lynn, Nr. Lynn, PE39 2JF
 Director: Sarah Page

21/01607/O



ANGLIA LAND SURVEYS LTD
SURVEY TO PERFORMANCE SURVEY
CONFORM WITH CIVIL AVIATION
AUTHORITY CAP 392 PART 2
STRESS LEVELS ORANGE AND
GREEN INDICATED

NOTE: ALL KERB LEVELS AND CHANNEL LEVELS

SYMBOL	DESCRIPTION	UNIT	CONSTRUCTION	FINISH	REMARKS
1	Ground Level	mm	As Shown	As Shown	
2	Channel Bed	mm	As Shown	As Shown	
3	Channel Sill	mm	As Shown	As Shown	
4	Channel Top	mm	As Shown	As Shown	
5	Channel Fall	mm	As Shown	As Shown	

SYMBOL	DESCRIPTION
A.1	As Shown
A.2	As Shown
A.3	As Shown
A.4	As Shown
A.5	As Shown
A.6	As Shown
A.7	As Shown
A.8	As Shown
A.9	As Shown
A.10	As Shown
A.11	As Shown
A.12	As Shown
A.13	As Shown
A.14	As Shown
A.15	As Shown
A.16	As Shown
A.17	As Shown
A.18	As Shown
A.19	As Shown
A.20	As Shown
A.21	As Shown
A.22	As Shown
A.23	As Shown
A.24	As Shown
A.25	As Shown
A.26	As Shown
A.27	As Shown
A.28	As Shown
A.29	As Shown
A.30	As Shown
A.31	As Shown
A.32	As Shown
A.33	As Shown
A.34	As Shown
A.35	As Shown
A.36	As Shown
A.37	As Shown
A.38	As Shown
A.39	As Shown
A.40	As Shown
A.41	As Shown
A.42	As Shown
A.43	As Shown
A.44	As Shown
A.45	As Shown
A.46	As Shown
A.47	As Shown
A.48	As Shown
A.49	As Shown
A.50	As Shown
A.51	As Shown
A.52	As Shown
A.53	As Shown
A.54	As Shown
A.55	As Shown
A.56	As Shown
A.57	As Shown
A.58	As Shown
A.59	As Shown
A.60	As Shown
A.61	As Shown
A.62	As Shown
A.63	As Shown
A.64	As Shown
A.65	As Shown
A.66	As Shown
A.67	As Shown
A.68	As Shown
A.69	As Shown
A.70	As Shown
A.71	As Shown
A.72	As Shown
A.73	As Shown
A.74	As Shown
A.75	As Shown
A.76	As Shown
A.77	As Shown
A.78	As Shown
A.79	As Shown
A.80	As Shown
A.81	As Shown
A.82	As Shown
A.83	As Shown
A.84	As Shown
A.85	As Shown
A.86	As Shown
A.87	As Shown
A.88	As Shown
A.89	As Shown
A.90	As Shown
A.91	As Shown
A.92	As Shown
A.93	As Shown
A.94	As Shown
A.95	As Shown
A.96	As Shown
A.97	As Shown
A.98	As Shown
A.99	As Shown
A.100	As Shown

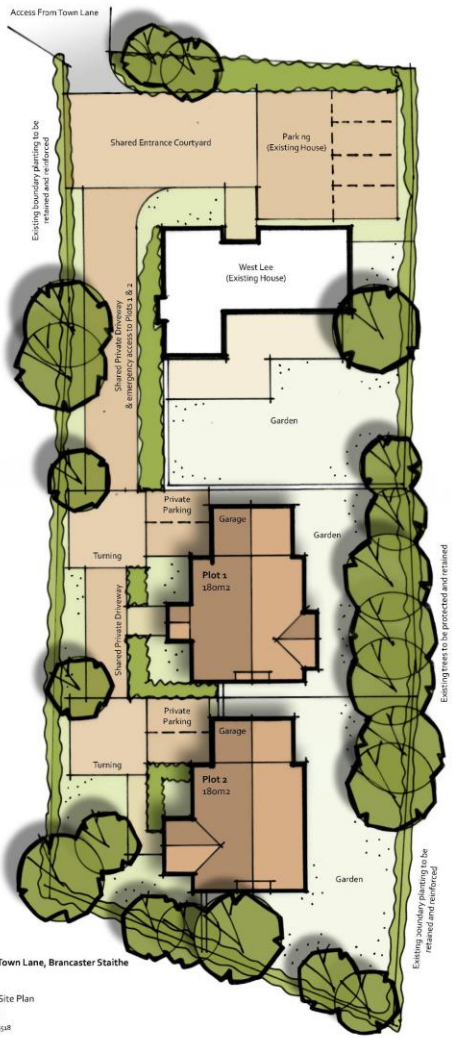
Date: September 2019
 Scale: 1:200
 Drawing Number: ALS875/200/01
 Topographical
 Client: Rob Harrison
 Project: Bransford Skothe
 West Lee
 Town Lane

Surveyed By: **ALS**
 Anglia Land Surveys Ltd

Norfolk Office: 20 Geylton Croft, Norwich NR2 1JL
 Suffolk Office: 143 Denmark Road, Bocking, Suffolk IP11 9JL

Tel: 01603 754900
 e-mail: info@anglialand-surveys.com
 Website: www.anglialand-surveys.com





21/01607/O

Slide
No 70



Looking North along Town Lane



21/01607/O

Slide
No 71



Looking south - entrance to site on left



21/01607/O

Slide
No 72



North boundary of site



21/01607/O

Slide
No 73



North boundary and parking area to existing dwelling



21/01607/O

Slide
No 74



West elevation of house and proposed
driveway



21/01607/O

Slide
No 75



Looking north along proposed driveway



21/01607/O

Slide
No 76



Existing dwelling and Plot 1

21/01607/O

Slide
No 77



View of South east and south boundary
across Plots 1 and 2



21/01607/O

Slide
No 78

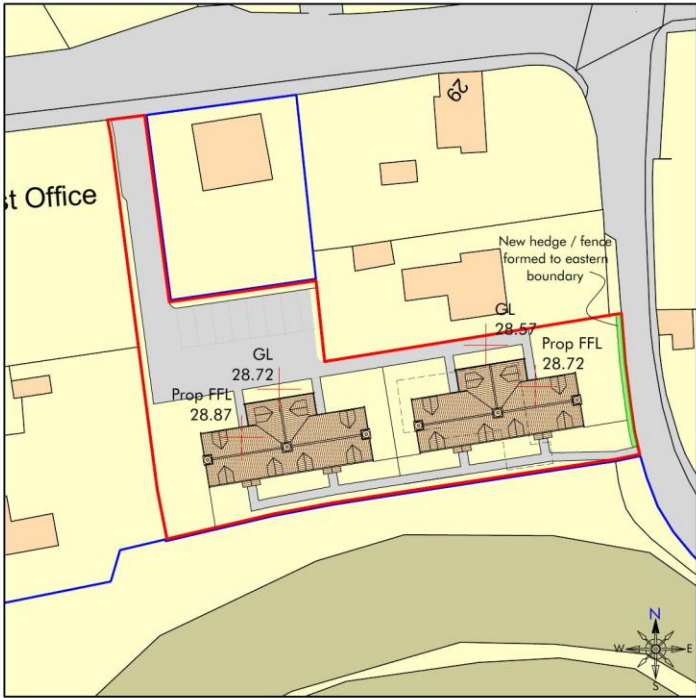


View south and proposed driveway adj. hedge

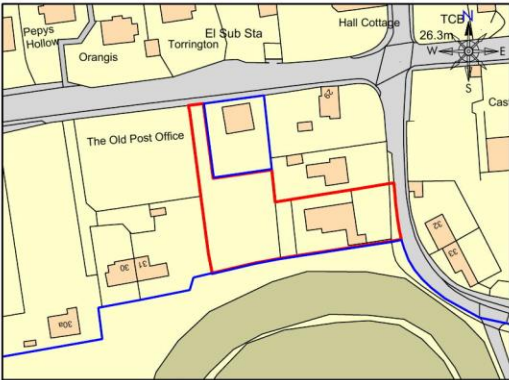


22/02256/F





Site Plan (1:500)



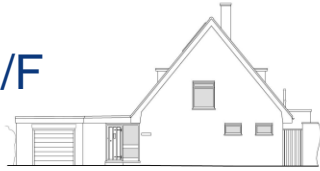
Location Plan (1:1250)

PRELIMINARY DRAWING
 Subject to Planning & Building Control Approval

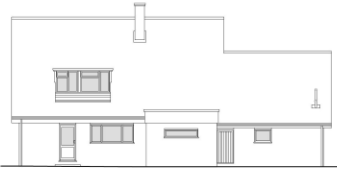
WAITE & Wallage
 ARCHITECTS LTD.
 incorporating **RICHARD C F WAITE ARCHITECTS**

This drawing is subject to amplification from further construction information. Any discrepancy found on drawing to be notified to Architect immediately. All foundations to be modified to suit ground conditions & structural requirements after site investigation by others. No dimensions or sizes to be scaled from this drawing. All sizes or dimensions to be checked before construction. This drawing is copyright & must not be copied without consent.

Proposed Cottages on site of 'Flintstones' Lynn Road Castle Rising Site & Location Plans	Paper Size: A3	PLANNING
	Drawn: DCRW	3/412/1A
	Date: Nov. '22	
info@wwaltd.co.uk	(01553) 772656	www.wwaltd.co.uk



East Elevation (1:100)



North Elevation (1:100)



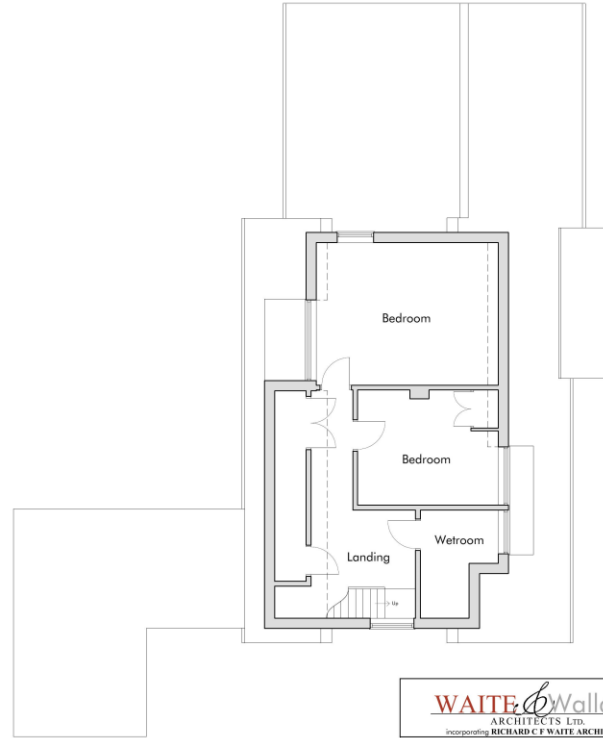
West Elevation (1:100)



South Elevation (1:100)



Ground Floor Plan (1:100)



First Floor Plan (1:100)



22/02256/F



Survey Notes

- All levels and coordinates relate to a GPS derived datum. Control was established using Ordnance Survey's Active GPS Network OSG636. Translated from ETRSS0 using OSGM'S and OSTN15 models. Positions were recorded using Trimble RT12 GPS RTK equipment using the VRS correction service. Control station information may not be shown on this drawing, please contact Plandescil Ltd should you require assistance.
- All levels shown adjacent to mark lines have been taken at chosen line unless stated otherwise.
- Not all existing services are necessarily shown on this drawing. All services that could be located at the time of the survey have been positioned but should be taken as approximately and used as a guide to their presence. Clarification of all underground routes should be confirmed by the individual service provider and prior to project construction.
- Land ownership boundaries and legal title extents have not been identified in this survey. Survey mark lines have been surveyed at post positions and changes of direction. Hedgelines located at face or top of main stem, see drawing note to specify.
- Not all trees have been surveyed, trees shown as below have been seen by trunk position. Level relates to ground at base of trunk.
 - Example of surveyed tree, species not recorded unless stated. Trunk diameter shown to scale, average canopy spread surveyed and plotted to scale.
 - Areas of dense trees and vegetation have not been shown by the approximate ground coverage and have no trunk positioning.
 - Areas of non surveyed planting, positions shown indicatively only or perimeter surveyed where level information is present.
- This survey has been merged with Ordnance Survey Master Map Data. Boundaries and physical objects have only been fixed where level information is present. See Licence details No. AL00000007 All Ordnance Survey mapping is subject to their own accuracy and tolerances.
- The information presented in this survey is a recording of what was present and accessible at the time of survey. Areas of the site not surveyed are represented by Ordnance Survey mapping.
- The original survey drawing is produced to scale, printed copies to be scaled at users risk. If any plotted dimensions are not clear please contact Plandescil Ltd for assistance.

Survey Control Station Table

Station Ref	Agency	Horizontal	Vertical	East in AD	Description
POC1	569822-038	324922.280	27.19	Survey Net	
POC2	569807-748	324905.047	26.98	Survey Net	

See notes for description of site datum and usage

Rev	Date	By	Chk'd	Description

plandescil
consulting engineers

Company Regd: Aftonborough, Norfolk NR17 2BW
Telephone: (01603) 620071 Fax: (01603) 649955
E-mail: enquiries@plandescil.co.uk www.plandescil.co.uk

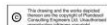
civil / structural / environmental / surveying

Client
Waite & Wallage Architects Ltd

Project
**Flintstones
Lynn Road, Castle Rising
PE31 6AH**

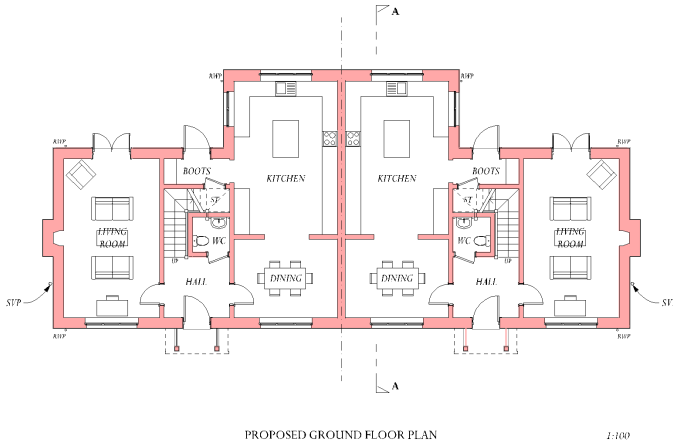
Drawing Title
Topographical Survey

Scale	UK NS	Date	Drawn By
1:200	(A1)	June 2022	RW
Drawing No	28332/001		Rev
			0



This drawing and the works depicted thereon are the property of Plandescil Consulting Engineers. All rights reserved.





Adjacent Properties and Structures are shown for illustrative purposes only and have not been surveyed unless otherwise stated.
 All site dimensions approximate and liable to vary to the extent permitted by the Law of England.
 The site location shown on the Planning Application is approximate.
 All dimensions must be checked by the contractor before commencing work on site.
 Notation on this drawing will be permitted to vary the plan within the limits of the Law of England.
 The copyright of this drawing remains with the Architect and any use not approved in writing by the Architect is prohibited.
 Ground Floor Plans, Elevations, Sections, etc. All must be prepared and checked by the Architect before construction.
 Dimensions shown on the ground floor plan are approximate, and subject to change in the light of site conditions. The responsibility for establishing the actual site conditions rests with the contractor.



Rev A

Rev	Date	Description	Initials
PROJ	12/03/22	Client Briefing	
		Proposed Collages	

TITLE: Proposed Ground Floor Plan

SCALE: 1:100 @ A3

DATE: March 2022

DRAWING No: 112/PD/A

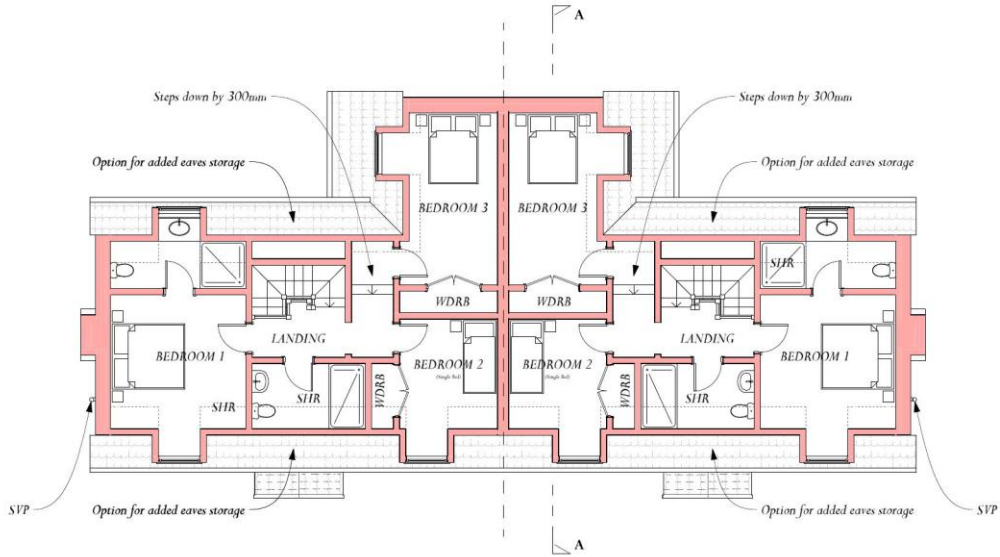
DRAWN BY: IS, DF

ADAM ARCHITECTURE

OLD HIDE HOUSE, 34 HYDE STREET
 WINDHILL, NORWICH, NR11 1PW, TEL: 01603 848013

WEST WING, SOMERSET HOUSE, STRAND
 LONDON, W.C2R 1H 4, TEL: 070 7433 0146

www.adamarchitecture.com info@adamarchitecture.com



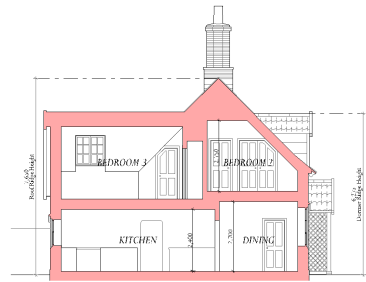
PROPOSED FIRST FLOOR PLAN 1:100

Adjacent Properties and Boundaries are shown for illustrative purposes only and have not been surveyed unless otherwise stated. All areas shown are approximate and should be verified before forming the basis of a decision. Do not scale other than for Planning Application purposes. All dimensions must be checked by the contractor before commencing work on site. No deviation from this drawing will be permitted without the prior written consent of the Architect. The copyright of this drawing remains with the Architect and may not be reproduced in any form without prior written consent. Ground Floor Slabs, Foundations, Sub-Structures, etc. All work below ground level is shown provisionally. Inspection of ground condition is essential prior to work commencing. Reassessment is essential when the ground conditions are apparent, and redesign may be necessary in the light of soil conditions found. The responsibility for establishing the soil and sub-soil conditions rests with the contractor.



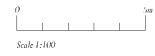
A. A notice is served on the Council of the authority (see including local health) for the purpose of the plan of Section 6.5.

Rev	Date	Description	Initials
PROJECT		Castle Rising Proposed Cottages	
TITLE:		Proposed First Floor Plan	
SCALE:		1:100 (A3)	
DATE:		March 2022	
DRAWING No:		S152/PL05-A	
DRAWN BY:		LS, DY	



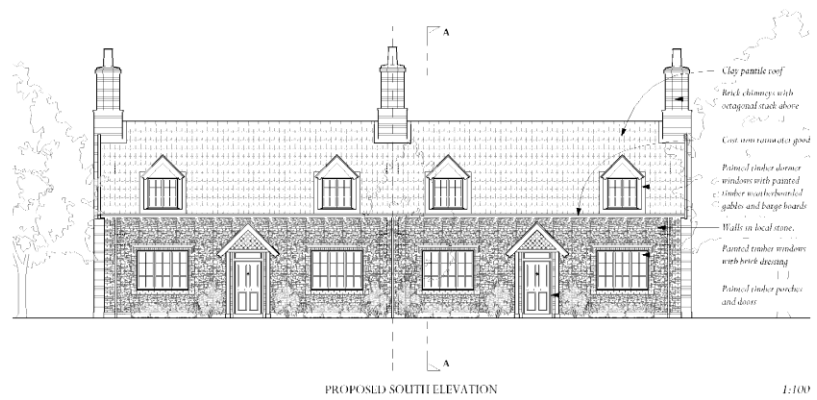
SECTION A-A 1:100

Adjacent Properties and Structures are shown for illustrative purposes only and have not been surveyed unless otherwise stated.
 All site dimensions approximate and liable to vary to the following tolerances of 3.00mm.
 Do not scale off this Plan for Planning Application purposes.
 All dimensions must be checked by the contractor before commencing work on site.
 Sections from this drawing will be permitted to be used for other purposes without the Architect's consent.
 The copyright of this drawing remains with the Architect and may not be reproduced in any form without prior written consent.
 Ground Floor Slabs, Foundations, Substructures, etc. All must be on ground level unless previously specified or otherwise stated in a separate plan to such drawings.
 Measurements are given when the ground conditions are uneven, and such measurements are necessary in the light of said conditions level. The responsibility for establishing the soil and subsoil conditions rests with the contractor.



Rev	Date	Description	Initials
PROJECT		Cable Rising Proposed Cottages	
TITLE:		Proposed Section A-A	
SCALE:		1:100 @ A3	
DATE:		April 2022	
DRAWING No:		2412/PL10	
DRAWN BY:		IS	

ADAM ARCHITECTURE
 OLD HYDE HOUSE 34 HYDE STREET
 WINDHILL, HAZEL, SUFFOLK IP19 1LJ, 01508 848013
 WEST WING, SOMERSET HOUSE, STRAND
 LONDON W, W.C2R 1H X, U.K. 010 7433 4146
www.adamarchitecture.com central@adamarchitecture.com



Approved Proposals will be made available for public inspection, subject to the usual conditions of access to the public. All other drawings, approvals and details shall be made available to the public at this time.

It is a condition of the Planning Application process that all documents made available for the construction of the proposed development shall be made available to the public for inspection at the local authority offices.

It is a condition of the Planning Application process that the applicant shall be responsible for the provision of the public access to the proposed development.

It is a condition of the Planning Application process that the applicant shall be responsible for the provision of the public access to the proposed development.

It is a condition of the Planning Application process that the applicant shall be responsible for the provision of the public access to the proposed development.

It is a condition of the Planning Application process that the applicant shall be responsible for the provision of the public access to the proposed development.



Rev	No	Description	Date
PROJ	001	Complete	
PROJ	002	Proposed Cottages	
PROJ	003	Proposed South Elevation	

SCALE: 1:100 (A)

DATE: March 2019

DRAWING No: 12/12/19

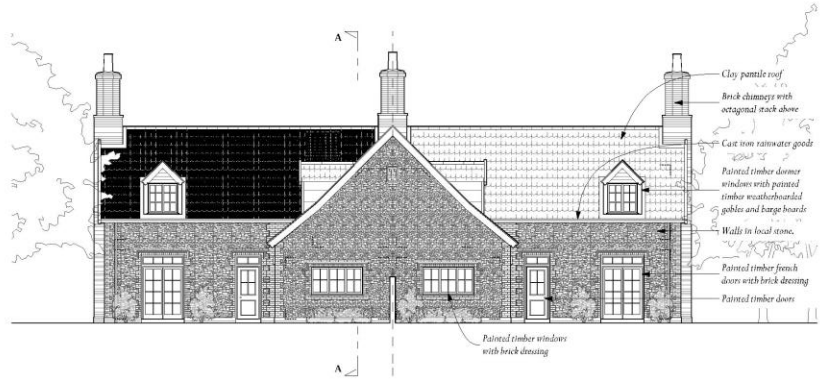
DESIGNER: LS, Dr

ADAM ARCHITECTURE

OLD HIND HOUSE, 74 HIND STREET
WIMBORNE, DORSET, SOUTH ISLE, DT9 7JH

WEST WING, SOMERSET HOUSE, 21 BRAND
LONDON, W.C. 2H 5, U.K. TEL: 020 7311 6116

www.adam-architecture.com



PROPOSED NORTH ELEVATION

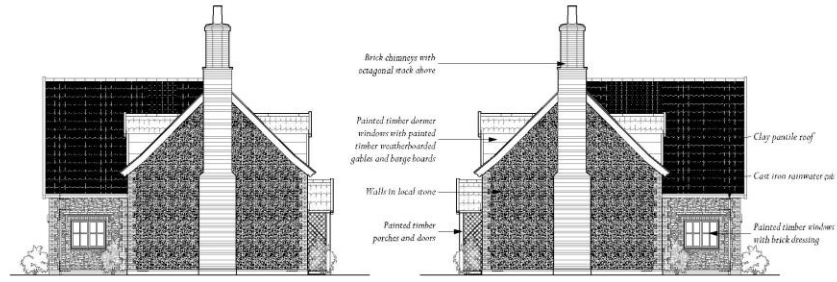
1:100

Adjacent Properties and Structures: are shown for illustrative purposes only and have not been surveyed unless otherwise stated.
 All site details are approximate and should be checked before starting the basis of a decision.
 The scale is other than the Planning Application system.
 All dimensions should be checked by the contractor before commencing work on site.
 No variation from this drawing is to be permitted without the prior written consent of the architect.
 The copyright in this drawing remains with the architect and may not be reproduced in any form without prior written consent.
 Ground Floor Slabs, Foundations, Substructures, etc. All work below ground level is shown provisionally. Inspection of ground conditions is essential prior to work commencing.
 Reasonable care is taken in the preparation of this document, and no liability is accepted in the light of said conditions. The responsibility for establishing the soil and subsoil conditions rests with the contractor.



Rev A: Floor Description Initials
 PROJECT: Castle Rising Proposed Cottages
 TITLE: Proposed North Elevation
 SCALE: 1:100 @ A3
 DATE: March 2022
 DRAWING No: CH12/PL08-A
 DRAWN BY: TK, DY

ADAM ARCHITECTURE
 OLD WYDE HOUSE, 74 WYDE STREET
 WIDCROSS, BA2 3S, SOUTH DEVON, TEL: 01302 840453
 WEST WING, SOMERSET HOUSE, 31 BRAND
 CROSSING, 90 CROMWELL AVENUE, BOSTON, LINCOLNSHIRE, LN11 9JF
 www.adam-architecture.com | info@adam-architecture.com



PROPOSED WEST ELEVATION 1:100

PROPOSED EAST ELEVATION 1:100

Adjacent Properties and Structures: draw the illustrative drawings only and have them corrected before submission.
 All site drawings are approximate and should be subject to the Deming Report of a Surveyor.
 The scale is as shown on the Planning Application forms.
 All dimensions should be checked by the contractor before commencing work on site.
 No variation from this drawing is to be permitted without the prior written consent of the architect.
 The copyright of this drawing remains with the architect and may not be reproduced in any form without prior written consent.
 General Floor Plans, Foundations, Substructures, etc. shall have been prepared prior to work commencing.
 Reasonable consent shall be given for the proposed conditions and arrangements to be necessary in the light of soil conditions found. The responsibility for stabilizing the soil and relevant conditions rests with the contractor.



Rev A: The Description Initials
 PROJECT: Castle Rising
 Proposed Cottages
 TITLE: Proposed West & East Elevations
 SCALE: 1:100 @ A3
 DATE: March 2022
 DRAWING No: C1112/PLP/NA
 DRAWN BY: TK/DY

ADAM ARCHITECTURE
 OLD HYDE HOUSE, 74 HYDE STREET
 WIDCORNISH, BA2 3Y, SOUTH DEVON, TEL: 01850 840453
 WEST WING, SOMERSET HOUSE, 31 BRAND
 CROSSING, W. C. 2R 11 A., 1. 8. 1. 870 2411 0140
 www.adam-architecture.com, contact@adam-architecture.com

22/02256/F

Slide
No 89



South elevation as viewed on approach from Lynn Road





Existing cottages facing





South boundary hedgerow, trees in background





View of south elevation from inside the site

22/02256/F

Slide
No 93



North elevation & neighbouring dwelling



22/02256/F

Slide
No 94



West elevation of existing bungalow, castle in background



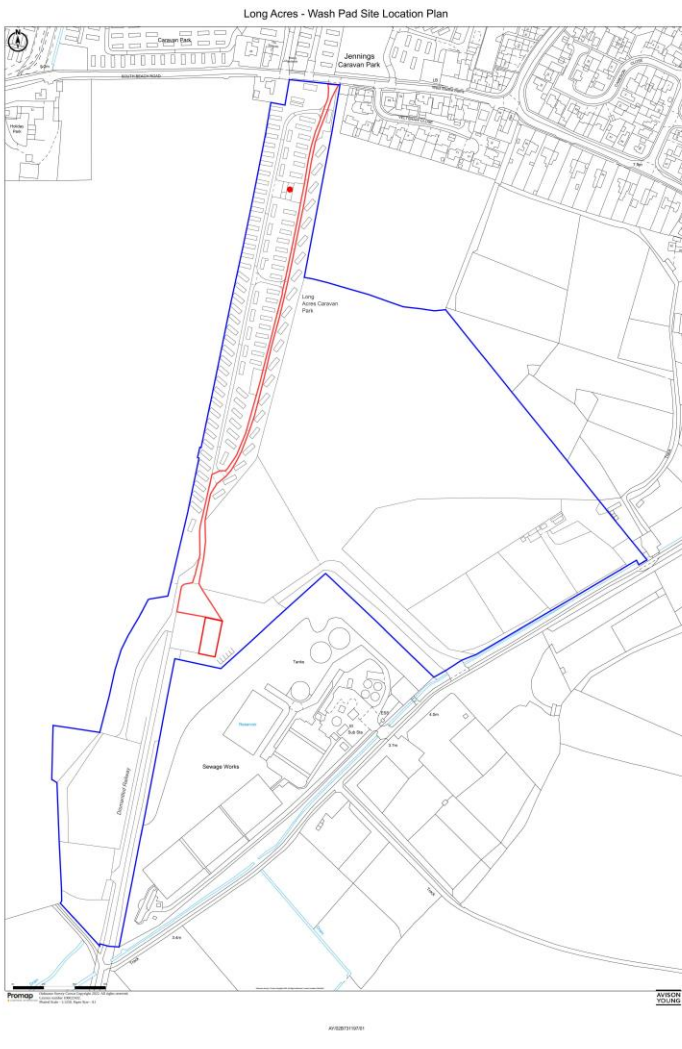


View towards Castle Rising from rear garden area



22/01774/F







- Key to site plan:
1. Existing warehouse.
 2. Existing concrete washpad.
 3. Guides for disposing of water.
 4. Clearing ramp for trailers on concrete washpad.
 5. Installed Man hole connected to silt collection tank.
 6. Route of installed drainage.
 7. Man hole.
 8. Klargester full section of interceptor.
 9. Installed alarm connected to Klargester.
- NOTE: All site levels remain as existing.
For full drainage layout please refer to page 4 of drainage technical note by Aston Young.

SCALE BAR PRINTED PAPER SIZE A1
 EXISTING SITE LAYOUT
 (Scale 1:200 when printed at A1)

REVISIONS

NO.	DATE	DESCRIPTION
1	10/01/2022	ISSUE FOR PERMIT
2	10/01/2022	ISSUE FOR PERMIT
3	10/01/2022	ISSUE FOR PERMIT
4	10/01/2022	ISSUE FOR PERMIT
5	10/01/2022	ISSUE FOR PERMIT
6	10/01/2022	ISSUE FOR PERMIT
7	10/01/2022	ISSUE FOR PERMIT
8	10/01/2022	ISSUE FOR PERMIT
9	10/01/2022	ISSUE FOR PERMIT
10	10/01/2022	ISSUE FOR PERMIT
11	10/01/2022	ISSUE FOR PERMIT
12	10/01/2022	ISSUE FOR PERMIT
13	10/01/2022	ISSUE FOR PERMIT
14	10/01/2022	ISSUE FOR PERMIT
15	10/01/2022	ISSUE FOR PERMIT
16	10/01/2022	ISSUE FOR PERMIT
17	10/01/2022	ISSUE FOR PERMIT
18	10/01/2022	ISSUE FOR PERMIT
19	10/01/2022	ISSUE FOR PERMIT
20	10/01/2022	ISSUE FOR PERMIT
21	10/01/2022	ISSUE FOR PERMIT
22	10/01/2022	ISSUE FOR PERMIT
23	10/01/2022	ISSUE FOR PERMIT
24	10/01/2022	ISSUE FOR PERMIT
25	10/01/2022	ISSUE FOR PERMIT
26	10/01/2022	ISSUE FOR PERMIT
27	10/01/2022	ISSUE FOR PERMIT
28	10/01/2022	ISSUE FOR PERMIT
29	10/01/2022	ISSUE FOR PERMIT
30	10/01/2022	ISSUE FOR PERMIT
31	10/01/2022	ISSUE FOR PERMIT
32	10/01/2022	ISSUE FOR PERMIT
33	10/01/2022	ISSUE FOR PERMIT
34	10/01/2022	ISSUE FOR PERMIT
35	10/01/2022	ISSUE FOR PERMIT
36	10/01/2022	ISSUE FOR PERMIT
37	10/01/2022	ISSUE FOR PERMIT
38	10/01/2022	ISSUE FOR PERMIT
39	10/01/2022	ISSUE FOR PERMIT
40	10/01/2022	ISSUE FOR PERMIT
41	10/01/2022	ISSUE FOR PERMIT
42	10/01/2022	ISSUE FOR PERMIT
43	10/01/2022	ISSUE FOR PERMIT
44	10/01/2022	ISSUE FOR PERMIT
45	10/01/2022	ISSUE FOR PERMIT
46	10/01/2022	ISSUE FOR PERMIT
47	10/01/2022	ISSUE FOR PERMIT
48	10/01/2022	ISSUE FOR PERMIT
49	10/01/2022	ISSUE FOR PERMIT
50	10/01/2022	ISSUE FOR PERMIT
51	10/01/2022	ISSUE FOR PERMIT
52	10/01/2022	ISSUE FOR PERMIT
53	10/01/2022	ISSUE FOR PERMIT
54	10/01/2022	ISSUE FOR PERMIT
55	10/01/2022	ISSUE FOR PERMIT
56	10/01/2022	ISSUE FOR PERMIT
57	10/01/2022	ISSUE FOR PERMIT
58	10/01/2022	ISSUE FOR PERMIT
59	10/01/2022	ISSUE FOR PERMIT
60	10/01/2022	ISSUE FOR PERMIT
61	10/01/2022	ISSUE FOR PERMIT
62	10/01/2022	ISSUE FOR PERMIT
63	10/01/2022	ISSUE FOR PERMIT
64	10/01/2022	ISSUE FOR PERMIT
65	10/01/2022	ISSUE FOR PERMIT
66	10/01/2022	ISSUE FOR PERMIT
67	10/01/2022	ISSUE FOR PERMIT
68	10/01/2022	ISSUE FOR PERMIT
69	10/01/2022	ISSUE FOR PERMIT
70	10/01/2022	ISSUE FOR PERMIT
71	10/01/2022	ISSUE FOR PERMIT
72	10/01/2022	ISSUE FOR PERMIT
73	10/01/2022	ISSUE FOR PERMIT
74	10/01/2022	ISSUE FOR PERMIT
75	10/01/2022	ISSUE FOR PERMIT
76	10/01/2022	ISSUE FOR PERMIT
77	10/01/2022	ISSUE FOR PERMIT
78	10/01/2022	ISSUE FOR PERMIT
79	10/01/2022	ISSUE FOR PERMIT
80	10/01/2022	ISSUE FOR PERMIT
81	10/01/2022	ISSUE FOR PERMIT
82	10/01/2022	ISSUE FOR PERMIT
83	10/01/2022	ISSUE FOR PERMIT
84	10/01/2022	ISSUE FOR PERMIT
85	10/01/2022	ISSUE FOR PERMIT
86	10/01/2022	ISSUE FOR PERMIT
87	10/01/2022	ISSUE FOR PERMIT
88	10/01/2022	ISSUE FOR PERMIT
89	10/01/2022	ISSUE FOR PERMIT
90	10/01/2022	ISSUE FOR PERMIT
91	10/01/2022	ISSUE FOR PERMIT
92	10/01/2022	ISSUE FOR PERMIT
93	10/01/2022	ISSUE FOR PERMIT
94	10/01/2022	ISSUE FOR PERMIT
95	10/01/2022	ISSUE FOR PERMIT
96	10/01/2022	ISSUE FOR PERMIT
97	10/01/2022	ISSUE FOR PERMIT
98	10/01/2022	ISSUE FOR PERMIT
99	10/01/2022	ISSUE FOR PERMIT
100	10/01/2022	ISSUE FOR PERMIT

Atelier Associates
 Architecture + design

100 BRIDGE ROAD
 LONDON, ENGLAND
 02077 333 333
 WWW.ATELIERASSOCIATES.COM

PLU01_03.02

Site & Access Plan (Change Sheet Drainage) (under 1:2500)
 10/01/2022 10:00:00 AM

22/01774/F

Slide
No 100



Existing storage building and yard



22/01774/F

Slide No 101



Platform and hardstanding



22/01774/F

Slide
No 102



Existing track running to west of site



22/01774/F

Slide
No 103



North boundary of site



22/01774/F

Slide
No 104



View from site access towards caravan park (north)



22/02113/F



22/02113/F



Existing Site Plan
Scale 1:200



3 Ermoor Court, Burreham Market, Norfolk, PE31 8FD
Tel: 01263 738239
Web: www.strataarchitecture.com

Project:
Terms
49 Peddars Way
Holme next the Sea
PE36 6LD
Title:
Extension and Alterations to Dwelling
Existing Site Plan

Scale(s): As shown @ A2 Date: 28.07.2021

Drawn: EA Checked: JL

Drawing issued for: Planning

Drawg No: 571-100 Rev: -

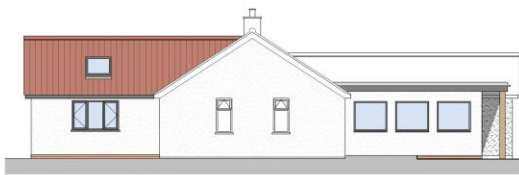
Copyright of this drawing is retained by Strata Architecture.
All dimensions must be checked on site by the Contractor.

Rev.	Date	Description	Drawn
A	07.07.21	Site levels to remain as existing	JN
B	28.07.21	Roof windows and dimensions	JN
C	28.09.2021	Drawing updated to suit Comments	EA
D	01.01.2022	Drawings updated	EA

Slide No 107



Proposed West Elevation
Scale 1:100



Proposed North Elevation
Scale 1:100

Materials

- Roof - Red clay panles
- Facias - Grey to proposed and replace existing
- Walls - Grey Marley Cedral Boarding
- Walk - Off-white render to existing walls
- Timber - Post to support flat roof
- Roof Windows - Anthracite Grey to proposed
- Windows & Doors - Anthracite Grey to proposed and replacing existing



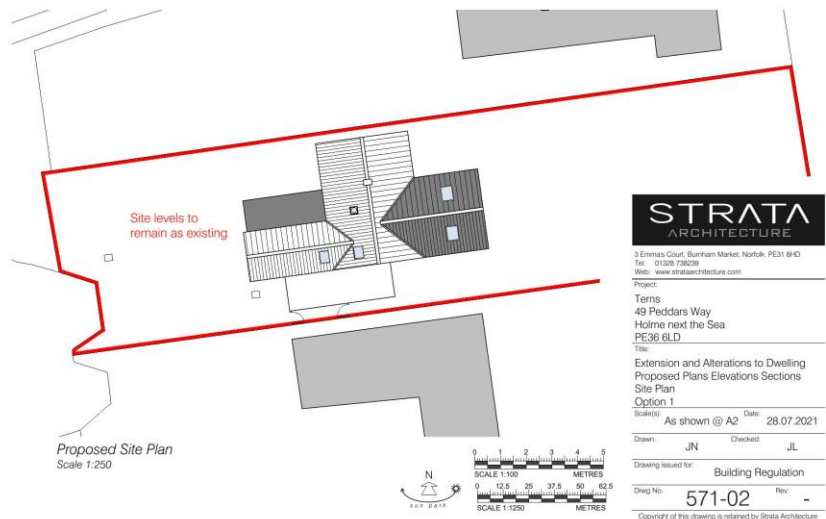
Proposed East Elevation
Scale 1:100



Proposed South Elevation
Scale 1:100



Proposed Ground Floor Plan
Scale 1:100



Proposed Site Plan
Scale 1:250



3 Ermoor Court, Burnham Market, Norfolk, PE33 8HD
Tel: 01263 738239
Web: www.strataarchitecture.com

Project
Terms
49 Peddars Way
Holme next the Sea
PE36 6LD
Title
Extension and Alterations to Dwelling
Proposed Plans Elevations Sections
Site Plan
Option 1

Scale(s): As shown @ A2 Date: 28.07.2021

Drawn: JN Checked: JL

Drawing issued for: Building Regulation

Draw No: 571-02 Rev: -

Copyright of this drawing is retained by Strata Architecture. All dimensions must be checked on site by the Contractor.

22/02113/F

Slide
No 108



Front of Terns showing extension behind garage

22/02113/F

Slide
No 109



Northern front boundary of the site

22/02113/F

Slide
No 110



View from neighbouring site No.51 to the south

22/02113/F

Slide
No 111



View of dwelling in the street scene



Wider context view of application site





View of extension from the rear of the dwelling





22/02113/F

Slide
No 115



22/02113/F

Slide
No 116



Separation between extension and No.51 from the rear side





Separation between extension and No.51 from the front side

Speaker Sandra Betterton



22/02113/F

**My two windows are clearly seen on left hand side
The gap between the two properties: 0.83m on my
side and approximately 1m on No 49**

Slide No 119



The overbearing and dominant impact of the new extension one of my rooms



- Difference of height between the newly built garage and the new extension.



In Summary

- Inaccuracies in measurements
- Reduction in natural light
- Dominating and overbearing impact on neighbour amenity
- Effect the whole process has had on our wellbeing

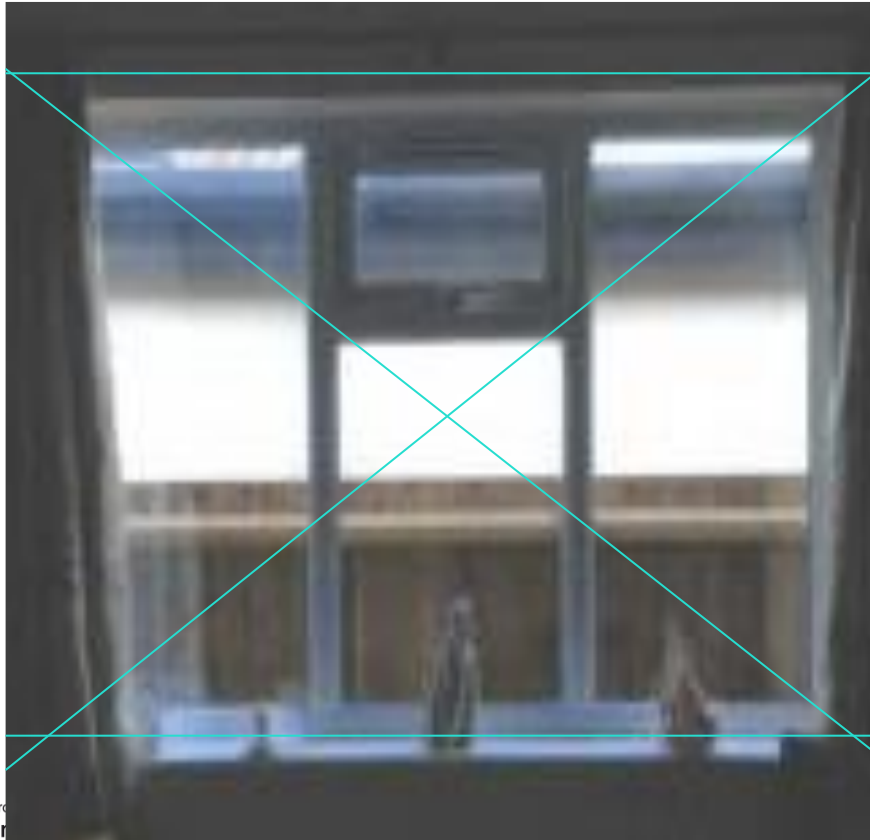


Speaker Lynn Devereux



CURRENT SITUATION

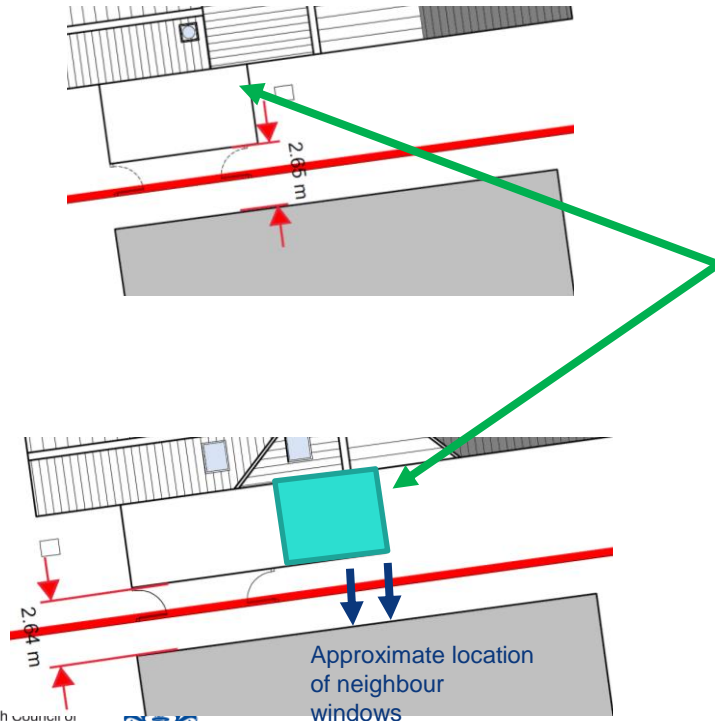
22/02113/F



- This application involves an extension that has been built without planning permission.
- It includes a wall constructed 1.8 metres from the living room windows of their neighbour.
- The wall is topped by guttering and eaves which narrow the gap to 1.45m.
- The wall has obscured the sky from the snug and substantially reduced light levels.
- Loss of light and privacy is limiting the way these rooms can be used.

HOW HAS THIS SITUATION ARISEN?

- Approved drawings for the development show a gap between the buildings of 2.65m - but this is not what was built.
- The existing garage was rebuilt and a higher extension was added to the rear without planning permission.
- This resulted in a wall across the neighbour's north facing, living room windows.
- Crucially, the wall is only 1.8m away from these windows – not 2.6m as the Applicants' drawings indicate.
- In terms of size and position, the **entire development along the south side** of Terns is not built in accordance with the approved plans.



DO THE INCORRECT MEASUREMENTS MATTER ? - ABSOLUTELY!!

Slide No 126

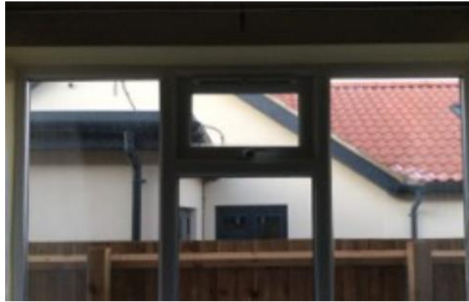
22/02113/F

- The Officer's Report takes the drawings as correct and assumes a gap of 2.6m.
- Given the importance of protecting Neighbour amenity this figure was used by the LPA to check impact on light levels using established guidance.
- With a separation of 2.6m the guidance indicates neighbour amenity is unlikely to be affected with regard to light levels.
- With a separation of 1.8m and the presence of eaves there is a negative impact.



SOUND POLICY BASIS FOR REFUSAL

22/02113/F



- SADMP Policy DM15 requires neighbour amenity to be protected.
- NDP Policy HNTS 11 requires that (i) development provides appropriate separation from boundaries to maintain gaps which respect neighbour amenity and (ii) is not detrimental by virtue of overshadowing or overlooking resulting in loss of light or privacy.
- NPPF Chapter 12 provides solid context for these policies.
- The images show very clearly that this development does not comply with these policies.
- The gap is not much more than the size of many flat screen TVs.
- Are we to accept this development is reasonable and complies with planning policy? If approved what kind of message would this send out?



Speaker John Peters



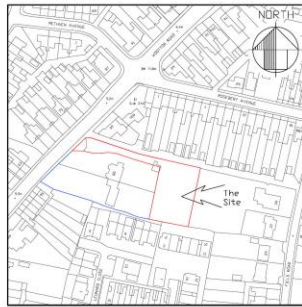
22/02113/F

Slide No 129



22/01886/O





LOCATION MAP 1:1250.

SITE PLAN 1:200.

The site has not been surveyed and existing features are only indicative.

Drawings Indicative Only as All Matters Reserved For the Outline Planning Application.

0m 5m 10m 20m 30m 40m 50m

FOR CONSTRUCTION PURPOSES Drawings to be read in strict accordance with the specification. Measurements and levels to be checked on site by the Contractor prior to commencement of works. Any discrepancies to be referred to the designer.

Matt Sturgeon Ltd.
BUILDING CONSULTANCY

MOORE PLACE | NURSERY LANE | NORTH WOOTTON
KING'S LYNN, NORFOLK, PE30 2QR, (01553 870891)

PROPOSED DEVELOPMENT
REAR OF 58 WOOTTON ROAD
KING'S LYNN.

PROPOSED:
SITE PLAN AND LOCATION MAP.

OCTOBER 2022 | 1562-02a

© 2022. Amended to (B). Drawings.
© 2022. Rights reserved to northern boundary.

22/01886/O

Slide
No 132



22/01886/O

Slide
No 133



View from access south



22/01886/O

Slide
No 134



View from access north, showing proposed access position



22/01886/O

Slide
No 135



Garage to be removed for access



22/01886/O

Slide
No 136



View from rear elevation of No.58 towards site





Rear elevation of donor dwellings, viewed from 58

22/01886/O



Rear elevation of donor dwellings, viewed from 58a



Rear elevation of donor dwellings, viewed from 58

22/01886/O

Slide No 140



South boundary of site



Laneway to north, existing garage to be demolished

22/01886/O

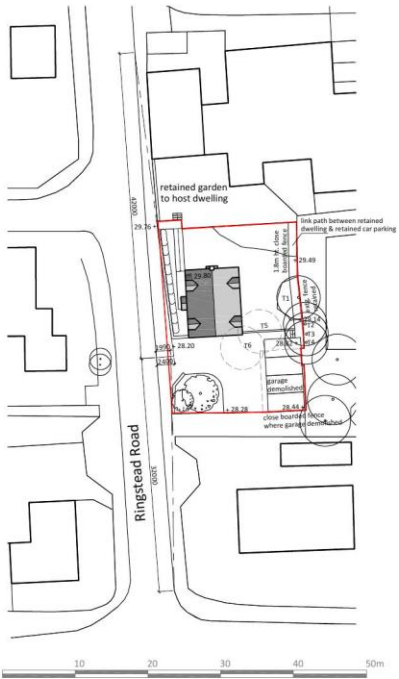
Slide No 142



View from laneway to the north, boundary vegetation to be retained via condition

22/01329/F





block & roof plan 1:500
 This drawing has been based on Ordnance Survey data and may duplicate errors thereon & is for planning purposes only. All levels to remain as existing unless otherwise stated



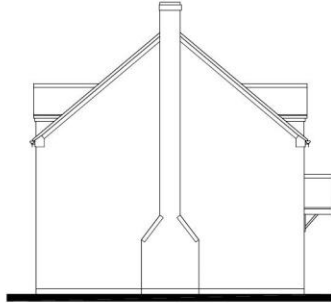
location plan 1:1250
 Map data reproduced from Ordnance Survey National Geographic Database © Crown copyright. OS 100031961 National Map Centre. Purchased 17/01/2022 1 year licence.

22/01329/F



west/road elevation 1:100

Elevations - Norfolk red brick rubble flint or chalk or coursed carrstone
Roof - Clay pantiles to main roof and clay plain tiles porch canopy



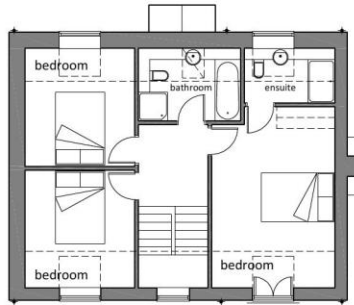
north elevation 1:100



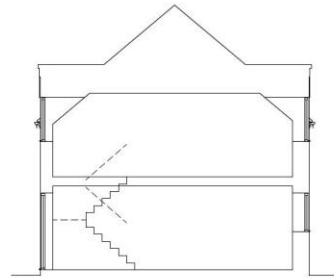
east elevation 1:100



ground floor plan 1:100



first floor plan 1:100



section 1:100

22/01329/F



south elevation 1:100



22/01329/F

Slide
No 147



Views on existing access and boundary wall



22/01329/F

Slide
No 148



22/01329/F

Slide
No 149



Views of the neighbouring property to the south



22/01329/F

Slide
No 150



Views on Ringstead Road to the west



22/01329/F

Slide
No 151



Existing steps linking School House to the parking area



22/01329/F

Slide
No 152



Amenity space serving School House



22/01329/F

Slide
No 153



Amenity space serving School House



22/01329/F

Slide
No 154



Views of School House looking north



22/01329/F

Slide
No 155



Hedging positioned to the west to be removed



22/01329/F

Slide
No 156



22/01329/F

Slide
No 157



View north from access with site to right.



22/01893/F





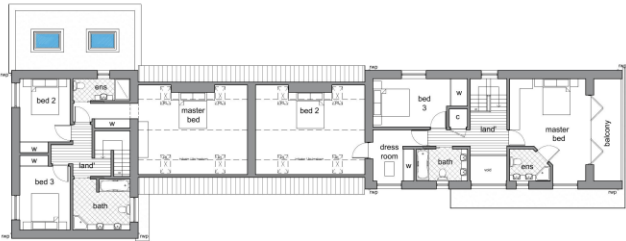
PLOT 1 & 2



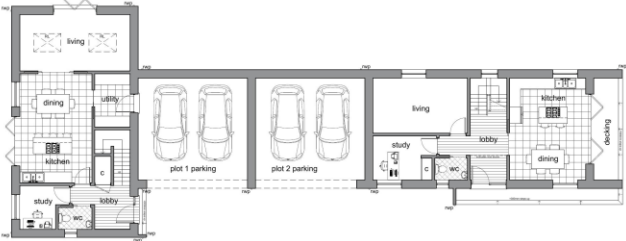
Front Elevation (W)



Rear Elevation (E)



First Floor Plan



Ground Floor Plan



Side Elevation (S)



Side Elevation (N)

General Notes
 1. All dimensions are shown in 'feet' unless otherwise stated.
 2. The contractor and suppliers must verify all dimensions on the ground in the commencement of any work.
 3. This drawing is to be used in conjunction with all relevant regulations and specialist sub-contractors' drawings and specifications.
 4. Any discrepancies are to be brought to the designer's attention.

CONSTRUCTION DESIGN & APPROVAL REGULATIONS 2013
 The following information relates to the construction of the proposed development. The drawings highlight significant design-related health & safety issues covered by the Construction (Design & Management) Regulations 2013. The contractor and suppliers must coordinate with Construction Design & Management (CDM) 2013. The drawings are to be used in conjunction with all relevant regulations and specialist sub-contractors' drawings and specifications. The contractor must ensure that the proposed design complies with the relevant regulations and is approved by the relevant specialist design engineers and issued to the Principal Designer.

ELEVATIONS KEY

- Vertical proposed surface
- Brick cladding
- Vertical proposed brickwork
- Vertical proposed zinc roof
- Vertical proposed aluminium framed glass

FOR APPROVAL



Swann Edwards Architecture Limited, Swann Edwards Architects, 100-102, The Arcade, Ipswich, Suffolk, IP1 1AA

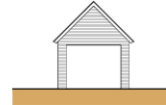
Site Title	Proposed Residential Development at Hopton Oak, Hopton Road, Wavenham, Downham Market, Norfolk, UK	Issue No.	G1
Issue Date	October 2022	Revision No.	02
Client	Swann Edwards Architecture	Drawn By	AT
Project No.	22-1626	Checked By	SE
Drawn By	AT	Scale	As Shown
Checked By	SE	Drawn By	AT
Issue No.	02-1626	Project No.	22-1626
Issue Date	October 2022	Drawn By	AT



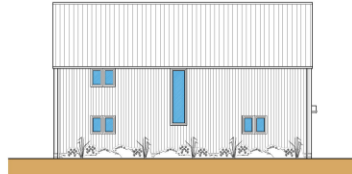
Front Elevation (E)
Scale: 1:100



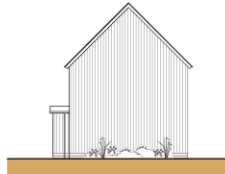
Side Elevation (S)
Scale: 1:100



Car Port (E)
Scale: 1:100



Rear Elevation (W)
Scale: 1:100



Side Elevation (N)
Scale: 1:100



Car Port (W)
Scale: 1:100



First Floor Plan
Scale: 1:100



Car Port (N)
Scale: 1:100



Car Port Floor Plan
Scale: 1:100



Ground Floor Plan
Scale: 1:100



Car Port (S)
Scale: 1:100

CONSTRUCTION DESIGN & APPROVAL REGULATIONS 2013
 The following information must be read in conjunction with the project files together. The drawings highlight significant design-related health & safety issues, general construction details, and structural details. The drawings are not to be used for construction or for other purposes and are not to be used for construction, drawing, and specification.
 Any discrepancies are to be brought to the designer's attention.
 The drawings are not to be used for construction or for other purposes and are not to be used for construction, drawing, and specification.
 Any discrepancies are to be brought to the designer's attention.

ELEVATIONS KEY

	Includes proposed surface cladding
	Includes proposed backboard
	Includes proposed zinc roof
	Includes proposed aluminium framed glass

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE
 Swan Edwards Architecture Limited, Swan Edwards Architects, Swan East, The Broom, Garsdon, Bishops Cleeve, NG13 9AA
 t: 01930 202222 e: info@swannedwards.co.uk w: www.swannedwards.co.uk

Site Title	Proposed Residential Development at Hopton Oak, Stone Road, Wanshan, Downham Market, Norfolk, UK	Drawn by	GJ
Date	October 2022	Checked by	SE
Site No.	08-16206	Drawn Date	A1
Drawn Title	Planning Drawing Plot 3 Floor Plans & Elevations	Checked	SE
Draw No.	PF3/011		



Side Elevation (E)
Scale: 1:50



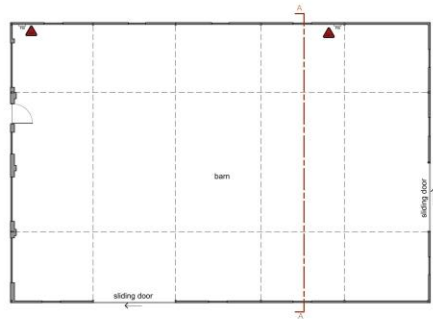
Front Elevation (N)
Scale: 1:50



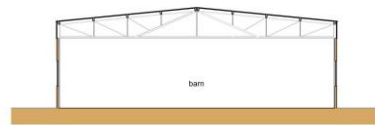
Side Elevation (W)
Scale: 1:50



Rear Elevation (S)
Scale: 1:50



Floor Plan
Scale: 1:100



Section A-A
Scale: 1:50



Location Plan
Scale: 1:250



Site Plan
Scale: 1:500

GENERAL NOTES
 1. All dimensions are given in feet unless otherwise stated.
 2. The contractor shall construct and fix to the walls at all elevations of the work in the construction of the work.
 3. This drawing is to be read in conjunction with all relevant engineering and structural drawings, drawings and specifications.
 4. Any discrepancies are to be sought in the drawings shown.

CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2015
 The following information must be read in conjunction with the general plan register. This register highlights significant design related health & safety risks relevant to the construction phase and the construction phase construction completion. Other health & safety risks associated with Construction Activities may be present and shall be identified by the Principal Contractor during the construction phase. Design risks resulting from the proposed design shall be identified by the relevant specialist designers consulted and issued to the Principal Designer.

ELEVATION KEY

- Indicates windows
- Indicates cladding
- Indicates roof cladding
- Indicates gable

SITE PLAN KEY

- Indicates non-emptied buildings
- Indicates non-emptied buildings taken from OS map
- Indicates approximate position of an non-emptied trees and vegetation
- Indicates site access

C01 Free Site

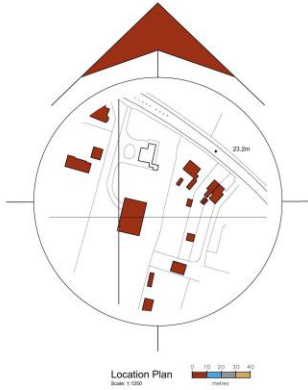


C02 Inspection Chambers

AS EXISTING

SWANN EDWARDS ARCHITECTURE
 Swan Edwards Architects, Limited, Swan Edwards Architects, Stock Lane, New Blean, Gillingham, Kent, Canterbury, ME12 3JQ, UK
 © 2022. All rights reserved. | info@swannedwards.co.uk | www.swannedwards.co.uk

Proposed Barn Conversion at Impass Close, Stoke Road, Warham, Clowham, Milton, Fife, Nr. Glen	Alt. Title	Issue	Drawn by
		April 2021	G.T.
			Checked by
			G.E.
			Drawn by
		SE-1606	A.1
		Scale: 1:500	Revised

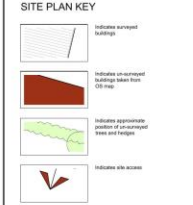


General Notes

1. All dimensions are shown in 'mm' unless otherwise stated.
2. The contours, the contours and depths may vary at the discretion of the site prior to the commencement of any work.
3. The drawing is to be read in conjunction with all relevant regulations and specified sub-contract drawings and specifications.
4. Any discrepancies are to be brought to the designer's attention.

CONTRACT DOCUMENTS & REFERENCES: PREVIOUS DRAWINGS

The following documents are to be read in conjunction with this drawing and the contract for the work. This drawing is prepared in accordance with the Health & Safety (Safety Signs and Symbols) Regulations 1996 and the Health & Safety (Safety Signs and Symbols) Regulations 2002. The drawing is to be read in conjunction with all relevant regulations and specifications. Designated drawings in accordance with the contract shall be identified by the relevant specialist designer's credentials as issued to the Principal Designer.

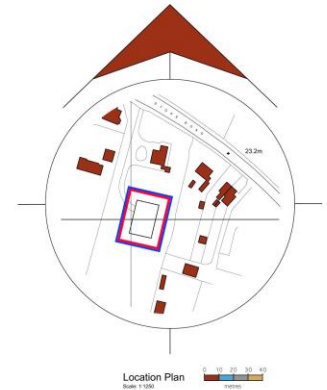
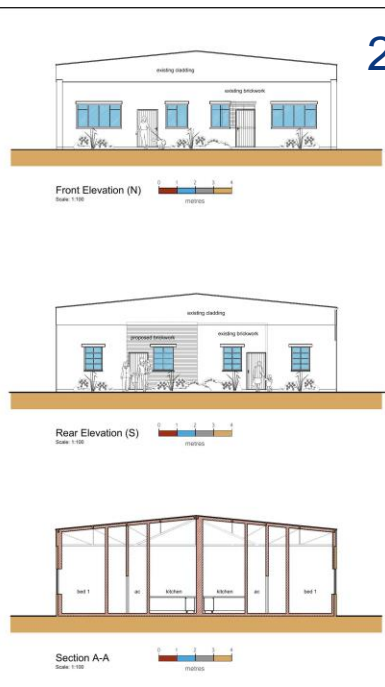
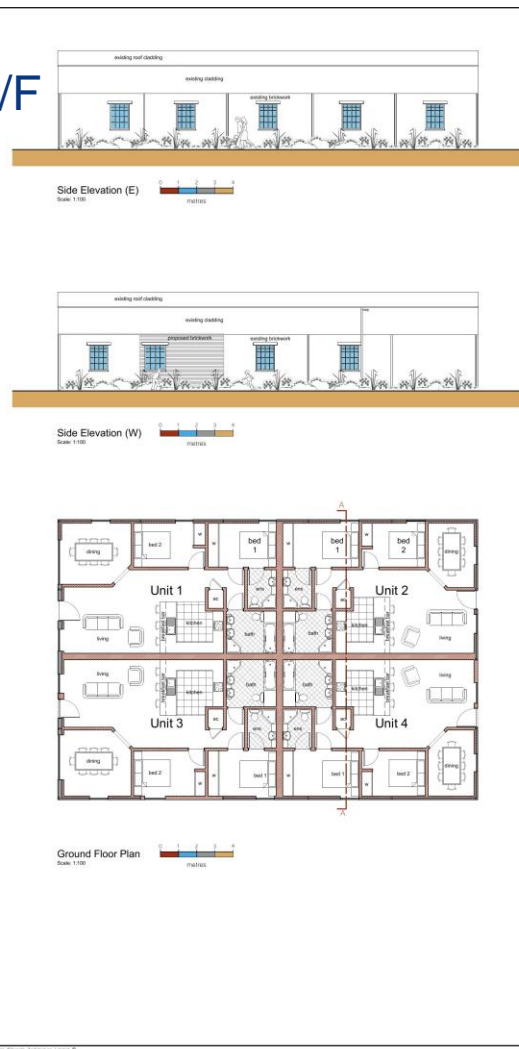


AS EXISTING

SWANN EDWARDS ARCHITECTURE

SWANN EDWARDS ARCHITECTURE
 100-102, The Arcade, King's Lynn, Norfolk, PE33 6AA
 01553 812345 | www.swannedwards.co.uk

Prepared by Suzanne Edwards	Drawn by G.E.	Date 08/10/2017	Sheet No. A1
Checked by G.E.	Scale 1:100	Date 08/10/2017	Sheet No. A1



General Notes

1. All dimensions are shown in 'feet' unless otherwise stated.
2. The contractor, sub-contractors and suppliers must verify all dimensions of the site at the commencement of any work.
3. This drawing is to be read in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
4. Any discrepancies are to be sought in the design selection.

CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2015

The following information must be read in conjunction with the general notes regarding this drawing highlights any relevant design-related health & safety risks associated with Construction phases and Construction activities that require completion. Other health & safety risks associated with Construction Activities may be identified and must be identified by the Principal Contractor prior to work commencing. Design risks relating to structural design items shall be identified by the relevant qualified design/ing consultants and issued to the Principal Designer.

SITE PLAN KEY

- Indicates proposed barn conversion
- Indicates unsurvived buildings older than 100 years
- Indicates approximate position of an unsurvived building
- Indicates existing site outline

WALL KEY

- Indicates existing wall
- Indicates wall to be demolished
- Indicates proposed wall

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

Swann Edwards Architecture Limited, Swann Edwards Architecture, 2021, High Street, Downton, Dorset, Dorset, DT10 1AA, UK
 T: 01305 413294 & 01420 820000 E: info@swannedwards.co.uk W: www.swannedwards.co.uk

Prepared By	Checked By
Drawn By	Approved By
Scale No.	Project No.
Drawn On	Project No.



Application site (view from Stoke Road)





22/01893/F



View looking east along Stoke Road

22/01893/F

Slide
No 167



View looking west along Stoke Road



22/01893/F

Slide
No 168



22/01893/F

Slide
No 169



22/01893/F

Slide
No 170



Application site, showing existing barn



22/01893/F

Slide
No 171



22/01893/F

Slide
No 172



On application site looking south



22/01893/F

Slide
No 173



Looking at western boundary of application site



22/01893/F

Slide
No 174



22/01893/F

Slide
No 175



23/00096/F





A 2b3p 70sqm semi-detached house
B 3b5p 93sqm semi-detached house

1.5m close-boarded fencing with 0.3m trellis

Site Area approx. 720sqm / 0.18 acre

revC: ID6 drain added
 revD: Plot C omitted
 revE: Plot B rooflights reduced in size, Plot C parapet note added
 revB: minor amendments
 revA: red line amended

Revision Details:
PROJECT:
 Proposed Development
 Land south of 18 Rowan Close
 Walsoken
 Wisbech
 PE13 3RW

CLIENT:
 Insynthesis Ltd

TITLE:
 Site Layout

DATE:
 25-01-23

VOID Architecture
 Heath Barn, Norwich Road, Fakenham
 Norfolk, NR21 8LZ

tel: 01328 801536
 email: info@voidarchitecture.co.uk
 web: www.voidarchitecture.co.uk

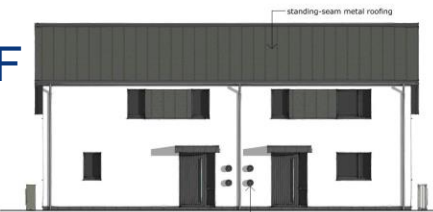
DRAWING: 1199.01

REV: E SIZE: A2



This block is 280mm in length when printed correctly

This line frame is shown in length when printed correctly



North
scale 1:100



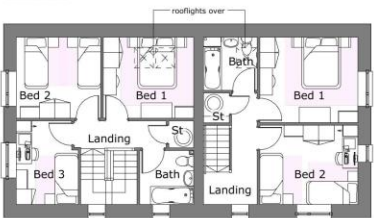
East
scale 1:100



South
scale 1:100



West
scale 1:100



First Floor
scale 1:100



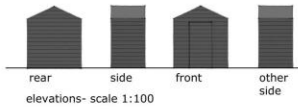
Typical Section
scale 1:100



Ground Floor
scale 1:100

- Materials Plots A & B**
- Roof: Standing seam grey metal sheeting
 - Walls: Light-coloured render with contrasting-colour infill panels
 - Joinery: Grey uPVC windows, composite door, pressed metal fascias
 - Rainwater goods: Galvanised metal gutters and downpipes

Plots A & B



Shed typical, all plots

VOID ARCHITECTURE

plan - scale 1:100

Materials: Shed
Roof: Felt roof
Walls: Timber

rev0: Plot C omitted
revC: rooflights reduced in size, single-storey parapet raised 150mm
revB: shed details added, ghosted elevations removed, rooflights clarified on plan, all to LA request
revA: materials provided

Revision Details:

PROJECT: Proposed Development
Land south of 18 Rowan Close
Walsoken
Wisbech
PE13 3RW

CLIENT: Insynthesis Ltd

TITLE: Floor Plans, Elevations & Perspectives

DATE: 24-01-23

VOID Architecture
Heath Barn, Norwich Road, Fakenham
Norfolk, NR21 8LZ

tel: 01328 801536
email: info@voidarchitecture.co.uk
web: www.void-architecture.co.uk

DRAWING: **1199.02** REV: **D** SIZE: **A2**



23/00096/F

Slide No 179



View of site looking east from Rowan Close

23/00096/F

Slide No 180



Standing in the site looking east.

23/00096/F



Looking north towards neighbouring semi-detached dwellings.

23/00096/F



Looking west back towards Rowan Close



Neighbouring properties to the south west in Fenland district

23/00096/F

Slide No 184



● Neighbouring properties to south east in BCKLWN



Standing in south east corner of site looking west.

23/00096/F

Slide No 186



Standing at the end of the alley looking towards Wistaria Road

23/00096/F

Slide No 187



Standing on Wistaria Road looking north up the alley which joins onto the site.

END OF PRESENTATION

